



PLANNING COMMISSION STAFF REPORT
Site plan request for office warehouse at
5208-5216 Hanson Ct N

FROM: Dan Olson, City Planner

TO: Planning Commission (for March 13 Meeting)

DATE: March 7, 2023

RE: PUBLIC HEARING – Site plan request from Jeff Quinn for a new office warehouse at 5208-5216 Hanson Court North (Application 2023-02)

A. BACKGROUND

Jeff Quinn (Farr Plumbing), who owns the vacant property at 5208-5216 Hanson Court North, is proposing to construct a new 14,000 square foot office warehouse. The property is zoned Industrial (I) and office warehouses are a permitted use within that zoning district. The city's unified development code (UDC) requires site plan review and approval for the new building and site improvements.

Notice of the March 13 public hearing was published in the Sun Post on March 2, mailed to owners, renters and commercial tenants within 500 feet (see attachment A), and posted to all Crystal neighborhoods on Nextdoor.

Attachments:

- A. Site location map showing public hearing notification area
- B. Existing zoning map
- C. Project narrative submitted by applicant
- D. Site plan (32 sheets)

B. SITE PLAN REVIEW

Existing use

The vacant property consists of two platted lots totaling 40,704 sq. ft. (0.93 acres) in size. The lot at 5208 Hanson is 29,327 sq. ft in size, while the lot at 5216 Hanson is 11,377 sq. ft. in size. Previously on the property was a commercial building for an auto salvage yard (built 1953, demolished 2010) and a house (built 1950s, demolished 2021).

Adjacent uses

The following are the existing land uses and zoning districts surrounding this property:

- North. Office warehouse zoned I
- East. Across rail tracks, miscellaneous businesses zoned Commercial and Industrial
- West. Self-storage facility zoned I
- South. Vehicle impound lot, zoned I

Proposed use

The applicant is proposing to construct a 1-story, 14,000 square foot office warehouse as the location for his plumbing business. The applicant is also creating four additional office warehouse units that will be rented to other businesses permitted in the I district.

The applicant will submit a lot consolidation application that will combine these two lots into one parcel. According to the UDC a lot consolidation application will be considered by the City Council without the need for a public hearing. Once consolidated the lot will be addressed as 5208 Hanson Ct N. The following are the notable site plan elements for this proposed building:

- Building setbacks and height. The proposed 22' tall building meets setback and height requirements in the Industrial district.
- Parking. The property is proposed to have 15 parking spaces and meets UDC requirements for number of spaces, setbacks, and parking space and aisle dimensions. The site plan has notations for the installation of "do not enter" signs in three locations to direct the flow of one-and-two-way traffic within the parking lot and drive aisles.
- Stormwater management and erosion control measures. After the site improvements are constructed the percentage of impervious surface on the property will increase from 23% to 80% (the maximum coverage is 90% for the I district). During building construction, the city will require erosion control techniques to be used on-site including silt fences, a rock construction entrance, and inlet protection.

The Shingle Creek Watershed Commission's requirement for redevelopment sites is to incorporate permanent water quality best management practices, but defers to the city for specific requirements for properties of this size. There is a proposed stormwater infiltration basin on the east side of the property with a sump manhole structure at the inlet. These proposed improvements meet the city's requirement that redevelopment sites not create additional runoff than currently exists. The city

engineer is requiring the applicant to submit a maintenance plan for the sump catch basin and infiltration area. This requirement has been made a condition of approval of the site plan.

- Utilities. The proposed building will connect to existing water and sanitary sewer mains in Hanson Court. One of the water services that will no longer be used will be disconnected at the city's watermain.
- Access and circulation. There are two existing driveway accesses off of Hanson Court which will be removed and two new driveway accesses will be installed. The city's Public Works Director and the West Metro Fire Rescue District staff have reviewed the traffic circulation plan and found it adequate to meet vehicle movement into and within the site, including fire trucks and delivery vehicles. The site plan provides for a new private sidewalk along the front of the building that will connect the building entrances to the parking areas.
- Building elevations. The proposed major exterior building material is painted metal with cultured stone as an accent material. These materials meet the city's requirements. Elevation drawings of the proposed building is attachment D.
- Landscaping. There are no trees on the property. The applicant proposes to plant 35 new trees (Mongolian Linden, Common Hackberry, Skyline Honeylocust, Autumn Gold Ginko, Serviceberry, two varieties of Crabapples, and Black Hills Spruce) together with two varieties of shrubs.
- Screening. Trash and recycling receptacles will be located within the building and do not need to be screened. The applicant has not yet determined how rooftop mechanical equipment will be screened from view and staff recommends a condition of approval that a screening plan be submitted prior to building permit issuance.
- Exterior Lighting. There are no existing light poles on the property, and none are proposed for the property. Nineteen new wall lighting fixtures will be installed. This lighting meets the city's requirements.

C. Site plan review criteria

The following are the relevant criteria for approval of site plans in city code section 510.17.

1. The site plan fully complies with all applicable requirements of the UDC.
Findings: As outlined in section B, above, the proposed site plan meets UDC requirements.
2. The site plan adequately protects residential uses from the potential adverse effects of a non-residential use.

***Findings:* The nearest homes are located to the east (across Highway 81) at a distance of approximately 700 feet from the proposed building, which will not have an adverse effect on these residential properties.**

3. The site plan is consistent with the use and character of surrounding properties.

***Findings:* The majority of the site has been a commercial use since 1953. The proposed building continues this commercial use in a way that is consistent with the use and character of surrounding properties.**

4. The site plan provides safe conditions for pedestrians or motorists and prevents the dangerous arrangement of pedestrian and vehicular ways.

***Findings:* The city's Public Works Director and staff from the West Metro Fire Rescue District have reviewed the site's traffic circulation plan and found it adequate to meet vehicle movement into and within the site, including fire trucks and delivery vehicles. The site plan provides for a new private sidewalk along the front of the building that will connect the building entrances to the parking areas.**

D. REQUESTED ACTION

The Planning Commission is asked to make a recommendation to the City Council to either deny or approve the site plan application for a new office warehouse at 5208-5216 Hanson Court North. This recommendation should include findings of fact either for or against the proposal. The Commission may reference the findings for approval in sections B and C above. Staff recommends approval of the site plan application with the following conditions:

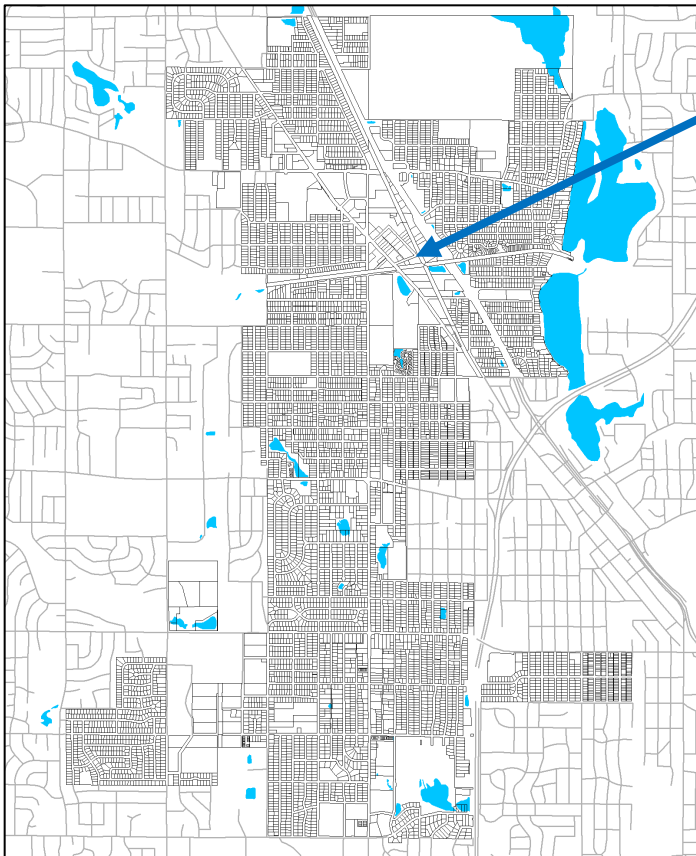
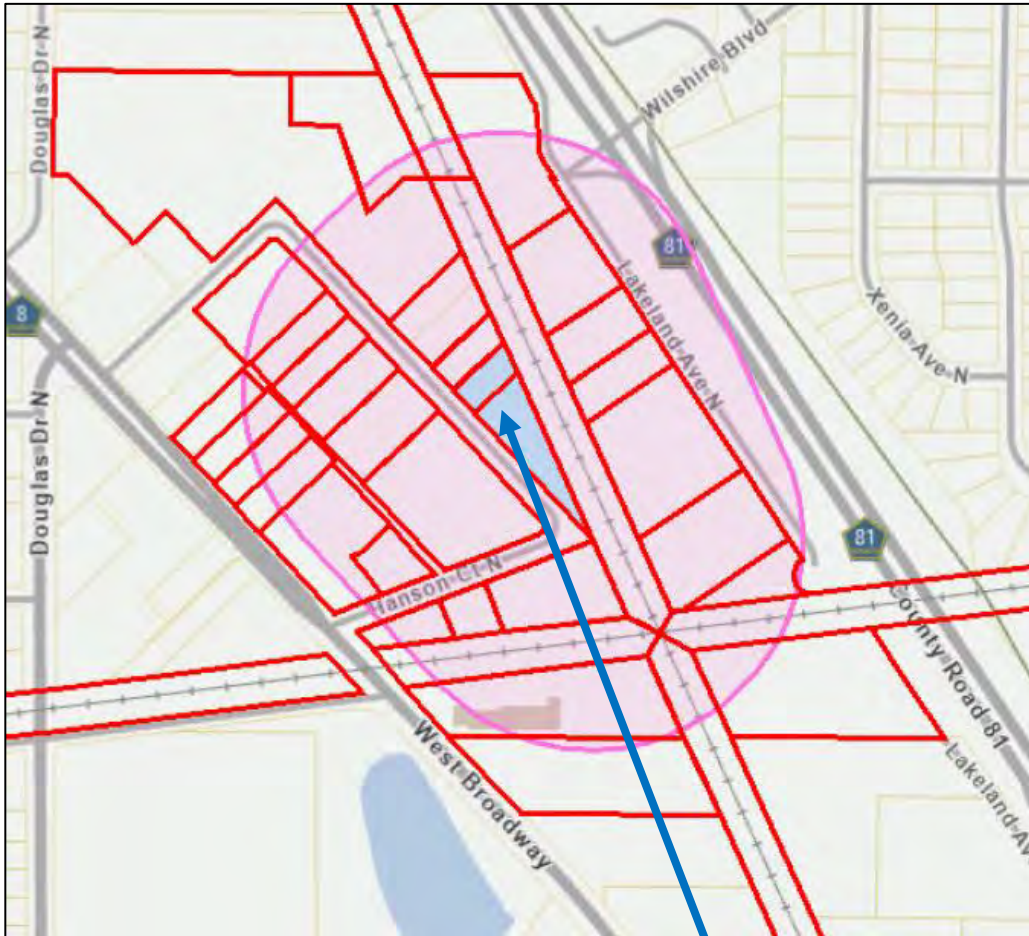
1. Site plan. The development shall be constructed according to the site plan in attachment D.
2. Lot consolidation. Receive approval by the City Council of a lot consolidation application to combine the applicant's two properties into one parcel and provide new easements on the final plat document.
3. Building permit. The following are the requirements for building permit issuance:
 - a. Submittal deadline. The applicant shall submit the permit application for the office warehouse by March 21, 2024 or submit a request for City Council approval of a one-year extension by March 7, 2024.
 - b. Building permit issuance. Before the permit is issued, the applicant shall:
 - 1) Sign a site improvement agreement with the city and provide an escrow to guarantee installation of the parking lot, stormwater infiltration basin, and landscaping plan.

- 2) Submit a screening plan for rooftop mechanical equipment that meets the requirements of city code 520.13.
- 3) Provide a maintenance plan for city approval for the cleaning and removal of debris from the sump catch basin and long-term maintenance of the infiltration basin.

City Council action is anticipated on March 21, 2023.

Site Location and Public Hearing Notice Mailing Map

Attachment A



5208-5216 Hanson Ct N



CITY of CRYSTAL

**4141 Douglas Dr. N.
Crystal MN 55422**

Zoning Map

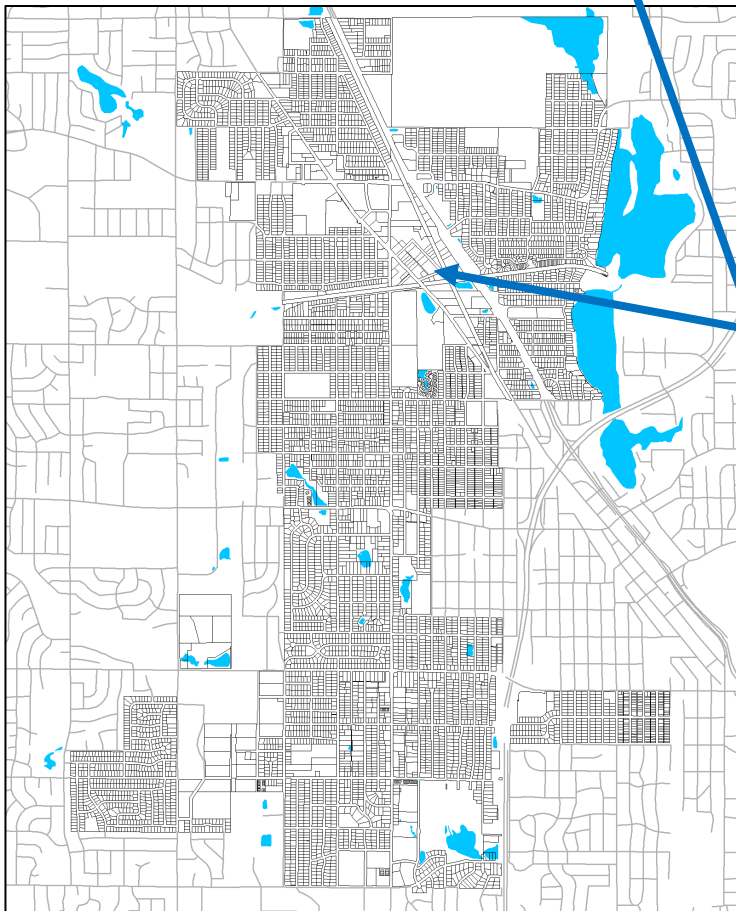
Attachment B

BASE ZONING DISTRICTS:

-  R1 - LOW DENSITY RESIDENTIAL
-  R2 - MEDIUM DENSITY RESIDENTIAL
-  R3 - HIGH DENSITY RESIDENTIAL
-  C - COMMERCIAL
-  TC - TOWN CENTER
-  I - INDUSTRIAL
-  AP - AIRPORT DISTRICT

OVERLAY DISTRICTS:

-  Planned Development Districts (PD)
-  Town Center Planned Development (TC-PD)
-  Properties Rezoned to TC-PD
-  Floodplain Overlay District



5208-5216 Hanson Ct N



CITY of CRYSTAL

4141 Douglas Dr. N.
Crystal MN 55422

Farr Plumbing Proposed Warehouse Project – Site Plan Project Narrative

What is the zoning district for the property?

The existing property is zoned Industrial.

What is the existing use for the property?

The existing lots are vacant and not currently being used. The property at 5208 Hanson Court N previously had a residential single-family home that was demolished in recent years. Historical documents from the City of Crystal suggest that at one time, the property at 5216 Hanson Court N was used as “Crystal Auto Parts”.

What is the proposed use for the property?

The existing lots are proposed to be combined through a lot-consolidation. The proposed use for the property is a 6-unit warehouse building.

If applicable, describe how the existing adjacent residential uses will be protected from potential adverse effects of the proposed use?

The existing properties to the north and east of the project area both drain runoff onto the property. The site will be graded to collect all runoff from the property, and the runoff from the adjacent properties through a storm sewer system and proposed infiltration. This will prevent any adverse effects from a drainage perspective.

Describe how the proposed site plan provides safe conditions for pedestrians or motorists and prevents the dangerous arrangement or pedestrian and vehicular ways?

The proposed site plan includes ADA components to provide safe and accessible routes to the building from either the proposed sidewalk along the west side of the building, or the proposed accessible parking spot and access aisle along the south side of the building. The vehicular ways through the site will be striped/delineated, separating truck traffic and passenger car traffic for safe maneuvering. The designated truck traffic lane is to be used by trucks to maneuver and park (inside of the lane) for deliveries and pick-ups. The site constrictions will not allow for trucks to back up to the proposed overhead doors, and therefore the truck lane is to be used for temporary truck parking during deliveries and pick-ups. Trucks and passenger car traffic can use the outside lane to navigate the site and safely maneuver around any parked trucks. See the site plan for more details.

Have any use-specific standards for the proposed use been addressed?

Not applicable.

FARR PLUMBING - PROPOSED WAREHOUSE BUILDING

CRYSTAL, MN

Attachment D

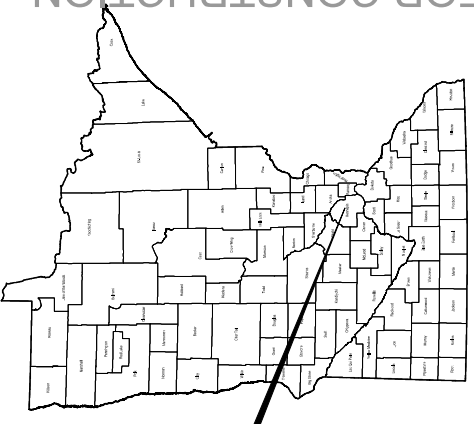
DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C1.0	TITLE SHEET
C1.1	CHALLENGE
C1.1-1.2	CIVIL DETAILS
C1.1.3	EXISTING CONDITIONS & REMOVAL PLAN
C1.1.4	SITE PLAN
C1.1.5	GRADING AND DRAINAGE PLAN
C1.1.6	UTILITY PLAN
C1.1.7	TURF ESTABLISHMENT AND EROSION CONTROL PLAN
C1.1.8-1.19	STORMWATER POLLUTION PREVENTION PLAN

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR CONSTRUCTION' AND 2020 EDITION OF THE 'MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION' SHALL GOVERN.



PROJECT LOCATION
FARR PLUMBING
5208 HANSON COURT N



PROJECT LOCATION
CITY OF CRYSTAL

NOT FOR CONSTRUCTION

NO.	REVISION DESCRIPTION	DATE	BY

EXISTING TOPOGRAPHIC LINES

CENTER LINE EDGE OF WOODS FENCE CHAIN LINK FENCE CHAIN LINK PROPOSED FENCE BARB WIRE FENCE BARB WIRE PROPOSED FENCE CHAIN LINK FENCE WOOD FORCEMAIN OVERHEAD CABLE TV OVERHEAD ELECTRIC OVERHEAD TELE RAILROAD RETAINING WALL SANITARY SEWER SANITARY SEWER SERVICE STORM SEWER STORM SEWER DRAIN TILE UNDERGROUND CABLE TV UNDERGROUND ELECTRIC UNDERGROUND FIBER OPTIC UNDERGROUND GAS UNDERGROUND TELE WATERMAIN WATERMAIN SERVICE WETLAND EDGE	FENCE CHAIN LINK PROPOSED FENCE WOOD PROPOSED FENCE BARB WIRE PROPOSED FORCEMAIN PROPOSED SANITARY SEWER PROPOSED SANITARY SERVICE PROPOSED STORM SEWER PROPOSED STORM SEWER DRAIN TILE PROPOSED WATERMAIN PROPOSED WATERMAIN SERVICE PROPOSED EROSION CONTROL LINES BALE CHECK BIG ROLL SILT FENCE SILT FENCE TYPE HEAVY DUTY SILT FENCE TYPE MACHINE SLICED SILT FENCE TYPE PREASSEMBLED FLOTATION SILT CURTAIN HATCH PATTERN (AND SHADING) LEGEND RANDOM RIPRAP SOIL SEED HYDRAULIC STABILIZER EROSION CONTROL BLANKET TEMP. ROCK CONSTRUCTION ENTRANCE BUILDING WALL HATCH BITUMINOUS SURFACE CONCRETE SURFACE GRAVEL SURFACE EASEMENT PATTERN
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EXISTING UTILITY MUNICIPAL SYMBOLS

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EXISTING UTILITY PRIVATE SYMBOLS

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EXISTING TOPO SYMBOLS

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EXISTING UTILITY MUNICIPAL SYMBOLS (cont.)

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PROPOSED CONSTRUCTION LINES

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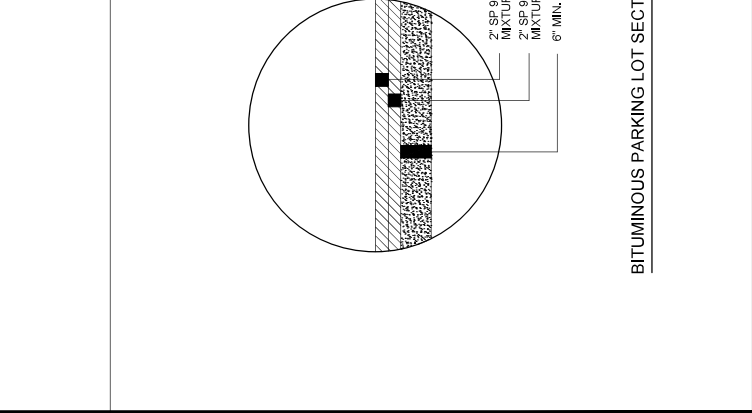
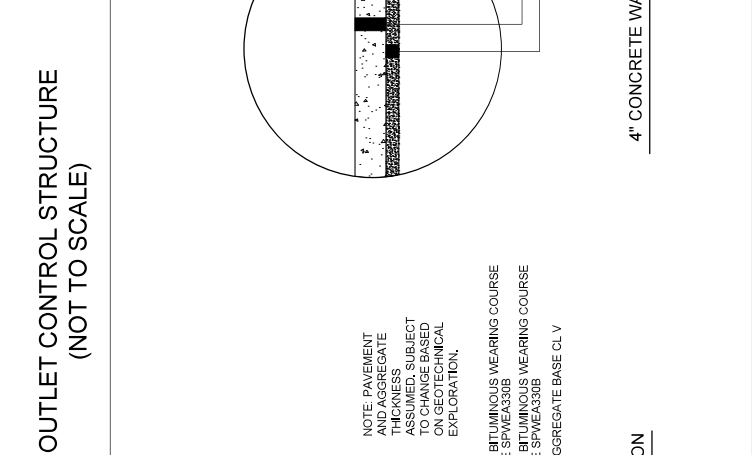
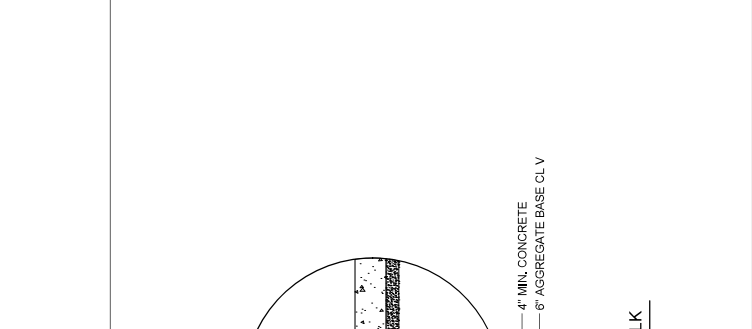
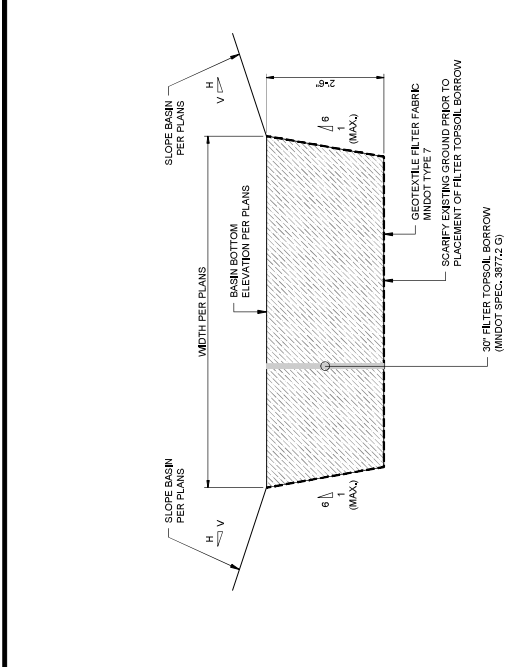
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 PAGE OF SECTION BOTTOM

DOCUMENTATION SYMBOLS

CIVIL LEGEND



INFILTRATION BASIN SECTION DETAIL
 SCALE: NONE

OUTLET CONTROL STRUCTURE
 (NOT TO SCALE)

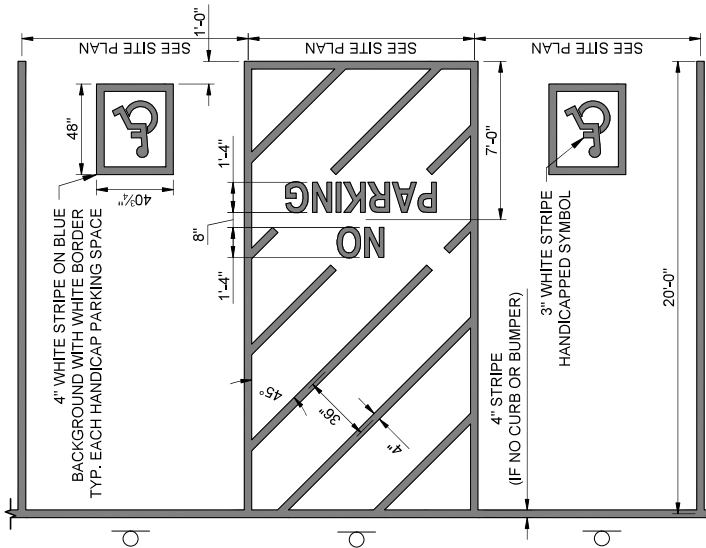
BITUMINOUS PARKING LOT SECTION

4" CONCRETE WALK

DATE	REVISION

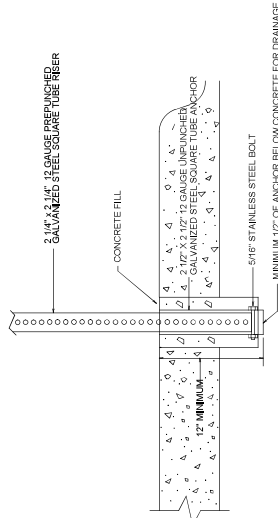
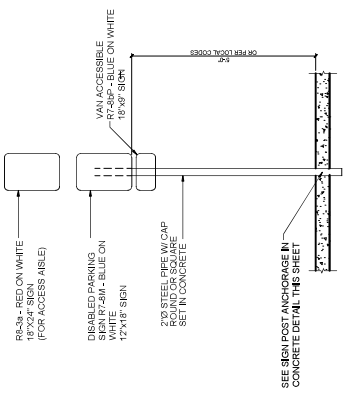
JOB NUMBER	2022-11786
DESIGNED BY	JRM
DRAWN BY	JRM
CHECKED BY	
SCALE	
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PROJECT	
DESCRIPTION	

CIVIL DETAILS
 C13
 FARF PLUMBING - PROPOSED WAREHOUSE PROJECT
 CRYSTAL, MN



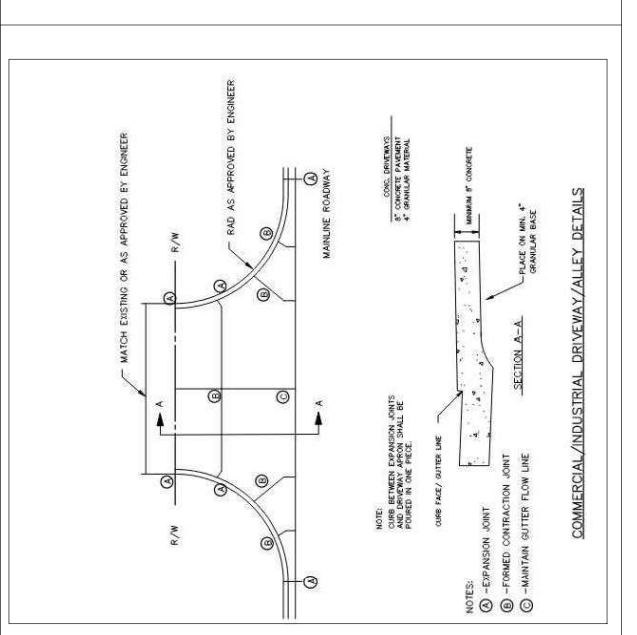
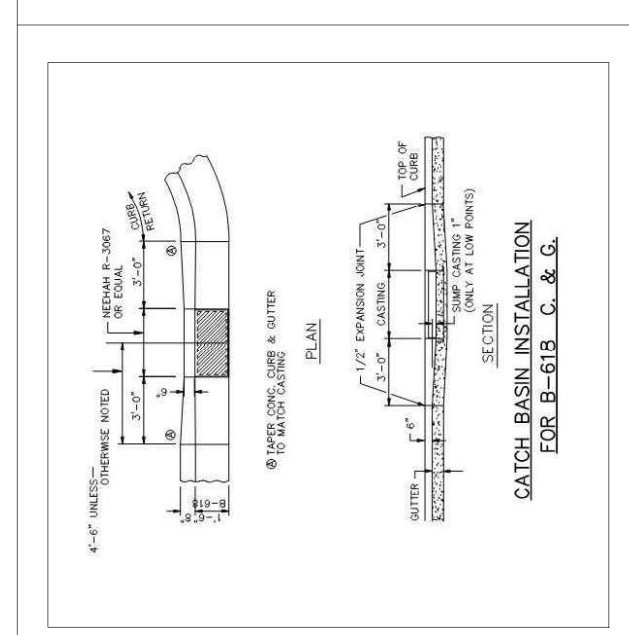
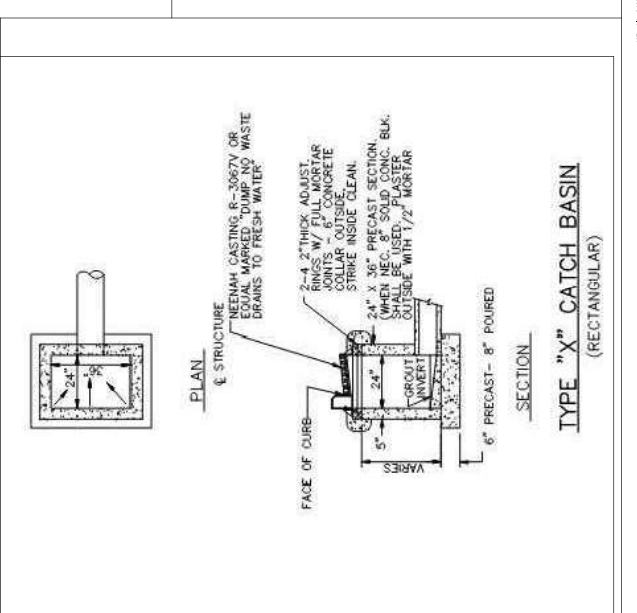
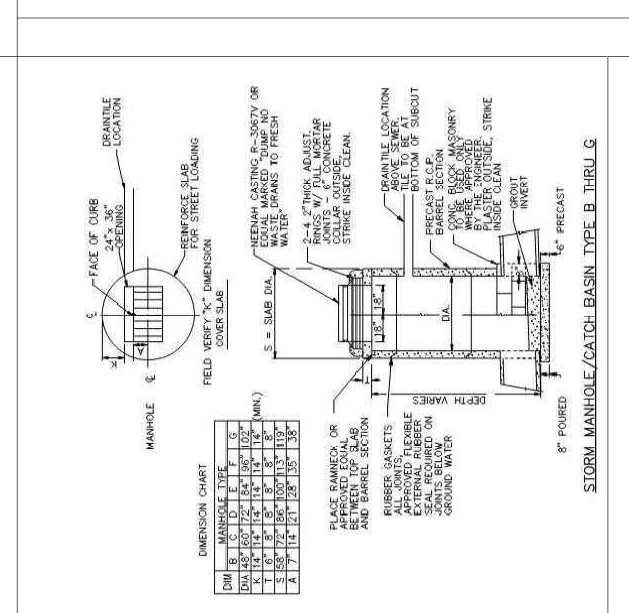
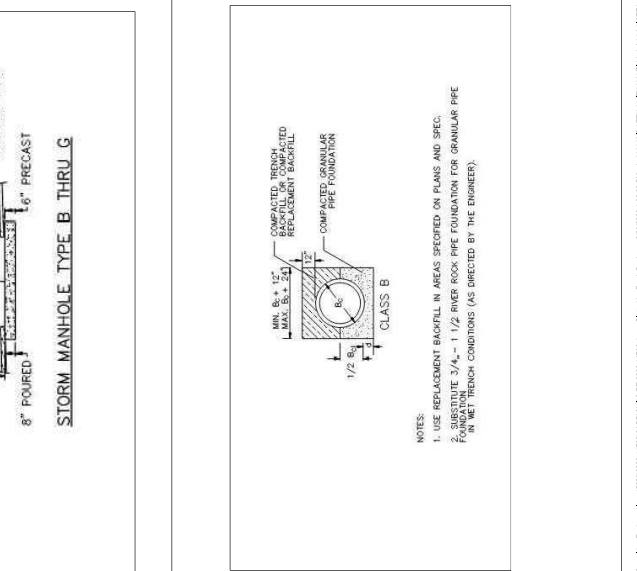
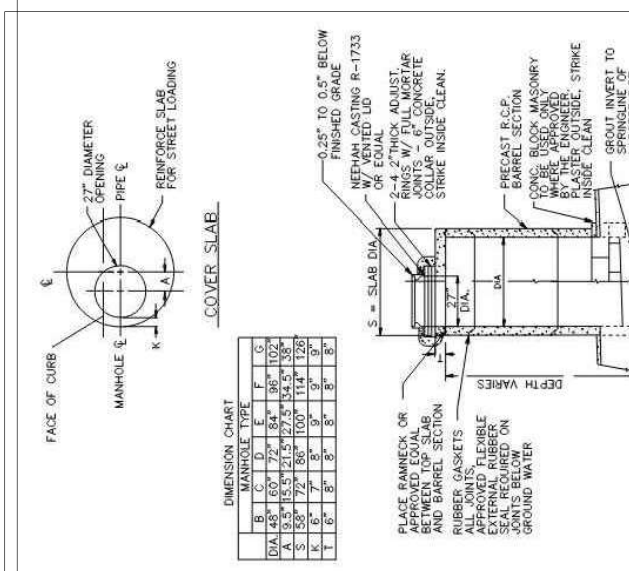
- NOTE:**
- ALL PAINT USED FOR STRIPING SHALL CONFORM TO STANDARD MNDOT REQUIREMENTS AS OUTLINED IN MNDOT SPECIFICATION No. 3891. COLOR SHALL BE BRIGHT WHITE.
 - AS SHOWN ON SITE PLAN

ACCESSIBLE STALL STRIPING DETAIL
 SCALE: NONE



- NOTES:**
- MINIMUM 1/2" OF ANCHOR BELOW CONCRETE FOR DRAINAGE
 - DRILL 3/8" HOLES ON OPPOSITE SIDES OF THE UNPUNCHED GALVANIZED STEEL SQUARE TUBE ANCHOR APPROX. 1" FROM THE BOTTOM OF THE ANCHOR.
 - DRILL 1/2" HOLES ON OPPOSITE SIDES OF THE UNPUNCHED GALVANIZED STEEL SQUARE TUBE RISER APPROX. 1" FROM THE BOTTOM OF THE RISER.
 - WITH A STAINLESS STEEL LOCKWASH WITH NYLON INSERT, THE UNPUNCHED GALVANIZED STEEL SQUARE TUBE RISER TO BE INSERTED INSIDE THE UNPUNCHED GALVANIZED STEEL SQUARE TUBE ANCHOR. THE RISER WILL REST ON BOLT.
 - INSERT THE ANCHOR IN THE HOLE.
 - ANCHOR FILL THE HOLE WITH A CONCRETE. THE CONCRETE SHALL BE LEVEL AND LEVEL OFF THE TOP OF CONCRETE.
 - ANCHOR BOLT TO BE TIGHTENED TO 45' HPS.
 - SIGN PANEL TO BE MOUNTED 7'FT ABOVE THE GROUND.

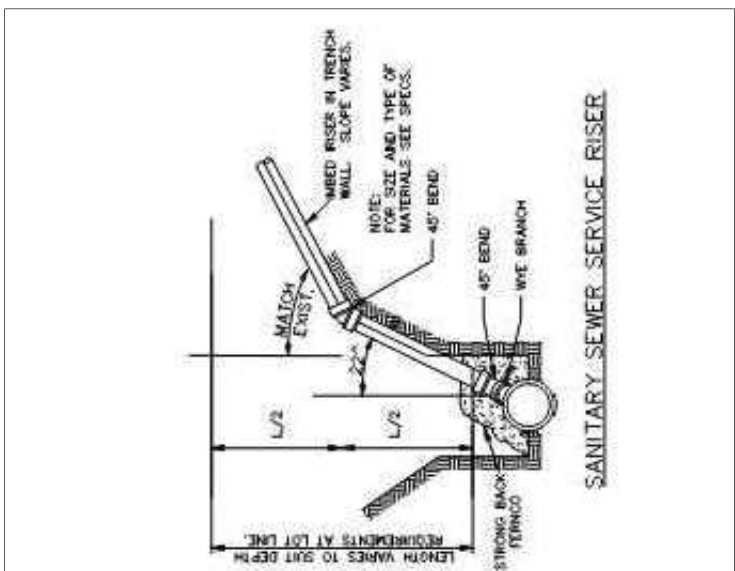
SIGN POST ANCHORAGE IN CONCRETE



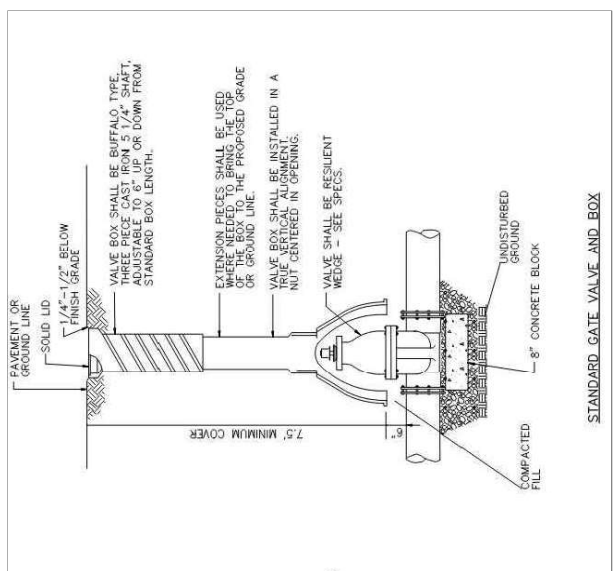
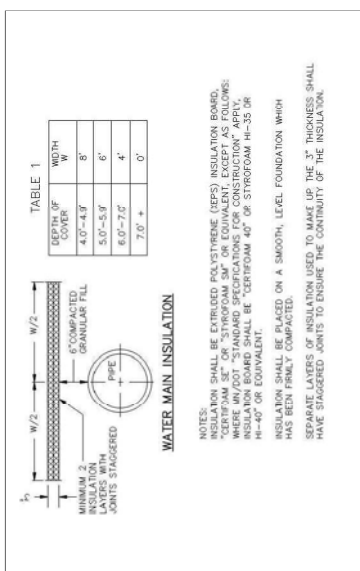
NO.	REVISION DESCRIPTION	DATE

DATE	REVISION NO.

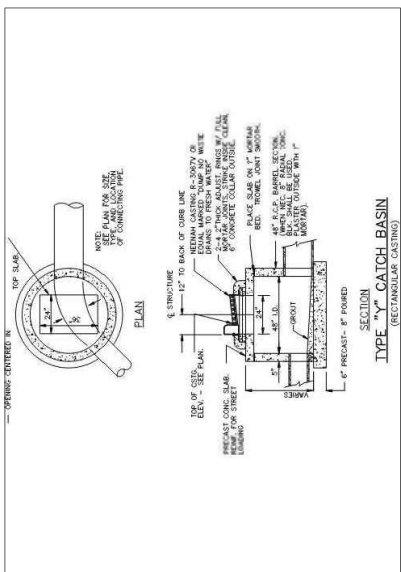
PROJECT	FARF PLUMBING - PROPOSED WAREHOUSE PROJECT
CITY	CRYSTAL, MN
STATE	MINN.
COUNTY	
JOB NUMBER	2022-1786



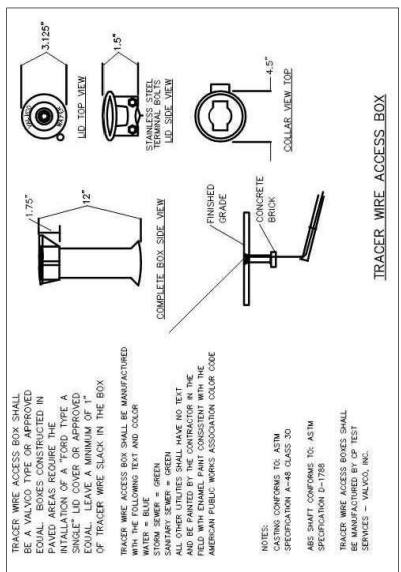
SANITARY SEWER SERVICE RISER



STANDARD GATE VALVE AND BOX



TYPE "Y" CATCH BASIN (RECTANGULAR CASTING)

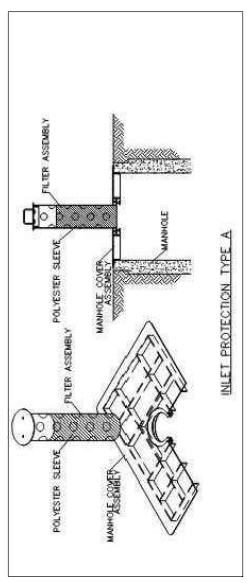
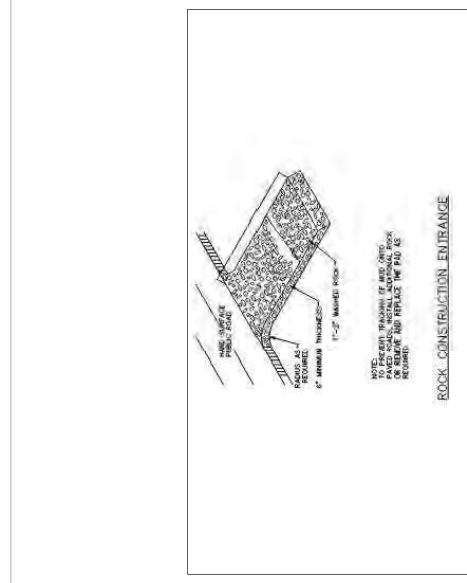
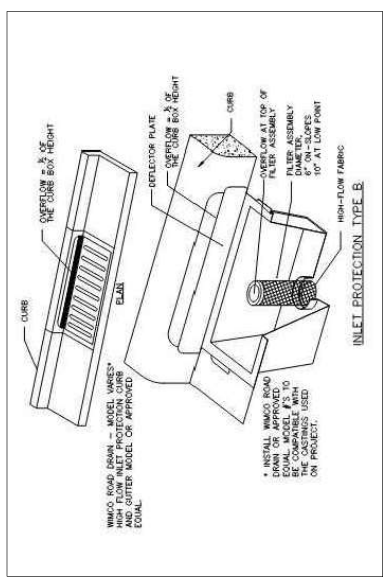
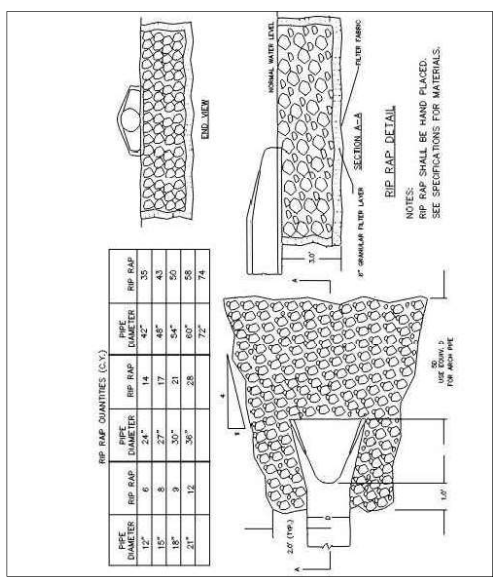
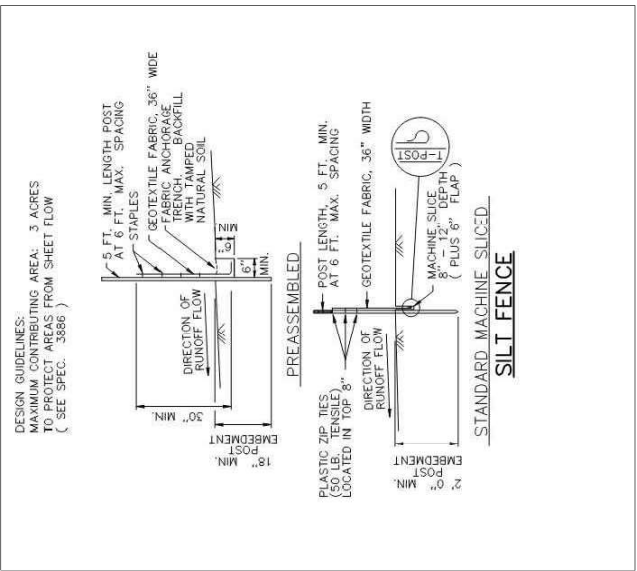


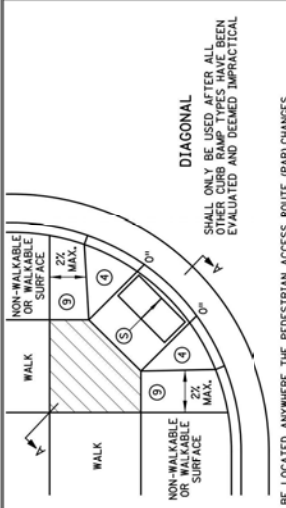
TRACER WIRE ACCESS BOX

NO.	REVISION DESCRIPTION

DATE:	08/20/2023
DESIGNED BY:	JHM
DRAWN BY:	JHM
CHECKED BY:	JHM
SCALE:	AS SHOWN
PROJECT NO.:	2023-11786

FARF PLUMBING - PROPOSED WAREHOUSE PROJECT
 PUD PLAN SET
 CRYSTAL, MN
 CIVIL DETAILS





NOTES:

LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CHANGES AND IF THE APPROACHING WALK IS INCREASED GRADE. THE MINIMUM CLEARANCE FROM THE INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB WITH A 5% FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE. ONLY SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30' OF VERTICAL RISE WHEN THE LONGITUDINAL RUNNING SLOPE IS GREATER THAN 5.0%.

CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS WITHIN THE PAR. 1/4" DEEP VISUAL JOINTS SHALL BE USED AT THE TOPS OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES TO ENSURE RAMP AND LANDINGS ARE PROPERLY CONSTRUCTED. ALL INITIAL LANDINGS AT A TOP OF A RAMPED SURFACE RUNNING SLOPE GREATER THAN 2% SHALL BE FORMED AND PLACED SEPARATELY FOR ALL SEPARATELY POURED INITIAL LANDINGS.

WHEN SIDEWALK IS AT BACK OF CURB, TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE. MAINTAIN POSITIVE BOLLEARD DRAINAGE TO TOP OF CURB.

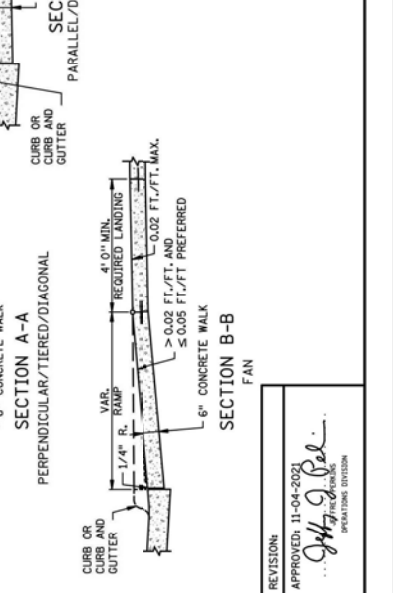
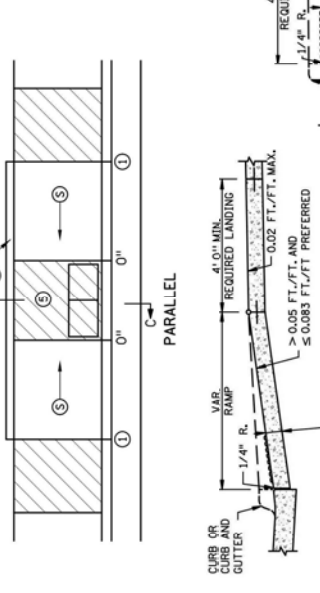
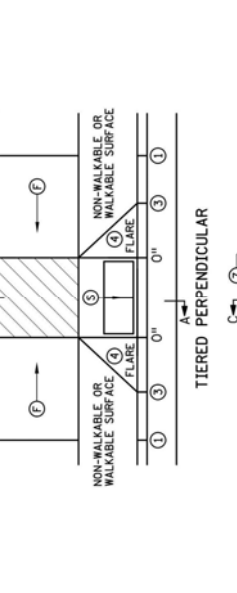
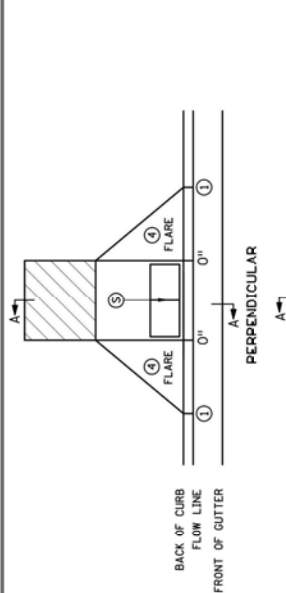
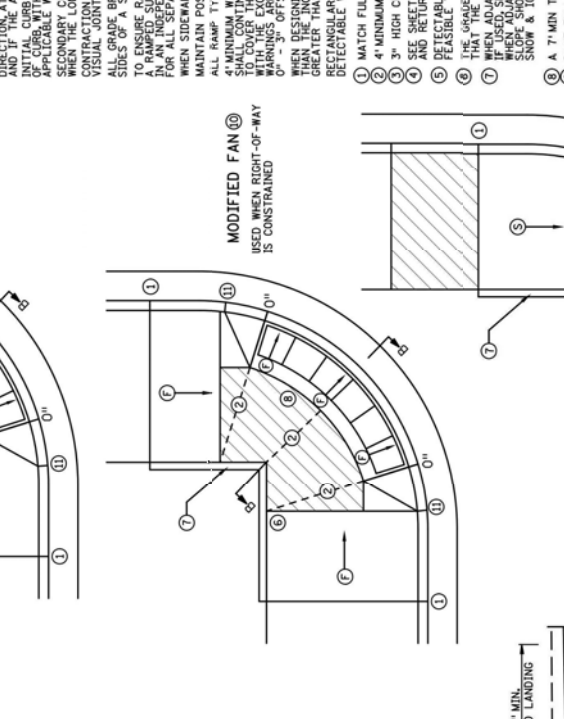
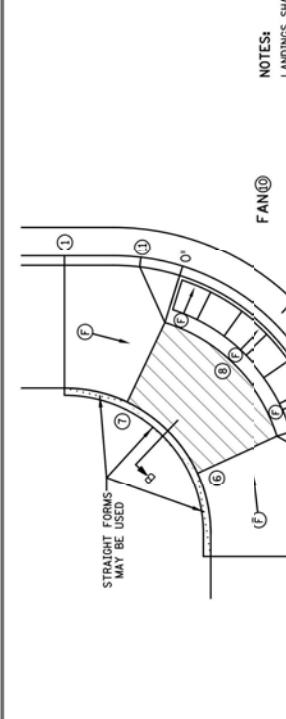
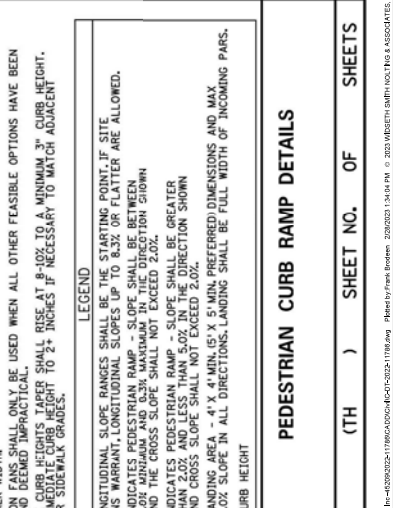
ALL RAMP TYPES SHOULD HAVE A MINIMUM 3'-LONG RAMP LENGTH.

4" MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMP DETECTABLE WARNINGS TO COVER THE ENTIRE PAR WIDTH OF SHARED-USE PATHS AND THE ENTIRE PAR WIDTH OF THE WALK WITH THE EXCEPTION OF 3" MAXIMUM ON EACH OUTSIDE EDGE WHICH ENSURES THE DETECTABLE WARNING IS FULLY EXPOSED TO CONCRETE WHEN ADJACENT TO TYPICAL SIDEWALKS.

WHEN DESIGNING OR ORDERING RECTANGULAR DETECTABLE WARNING SURFACES SHOULD BE 6" LESS THAN THE MIN. ARC LENGTH OF THE RADIAL DETECTABLE WARNING SURFACES SHOULD NOT BE GREATER THAN 20 FEET.

RECTANGULAR DETECTABLE WARNINGS SHALL BE SETBACK 3" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.

- 1 MATCH FULL HEIGHT CURB.
- 2 4" MINIMUM DEPTH LANDING REQUIRED ACROSS TOP OF RAMP.
- 3 3" HIGH CURB WHEN USING A 3' LONG RAMP, 4" HIGH CURB WHEN USING A 4' LONG RAMP.
- 4 SEE SHEET 4 OF 6 TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
- 5 DETECTABLE WARNINGS MAY BE PART OF THE 4' X 4' MIN. LANDING AREA IF IT IS NOT FEASIBLE TO CONSTRUCT THE LANDING OUTSIDE OF THE DETECTABLE WARNING AREA.
- 6 THE DETECTABLE WARNING SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL (TYPICAL FOR ALL) WHEN ADJACENT TO GRASS. GRADING SHALL ALWAYS BE USED WHEN FEASIBLE. V. CURB, WHEN USED, SHALL BE PLACED OUTSIDE THE DETECTABLE WARNING AREA. WHEN FEASIBLE, WALK SLOPE SHOULD BE USED OVER V. CURB TO REDUCE TRIPPING HAZARDS AND FACILITATE SNOW & ICE REMOVAL.
- 7 A 7" MIN TOP RADIUS GRADE BREAK IS REQUIRED TO BE CONSTRUCTIBLE.
- 8 PAVE FULL WALK WIDTH.
- 9 5% SLOPES ON FANS SHALL ONLY BE USED WHEN ALL OTHER FEASIBLE OPTIONS HAVE BEEN EVALUATED AND DEEMED IMPRACTICAL.
- 10 IMMEDIATELY ADJACENT TO CURB FLARES, DETECTABLE WARNING SHALL RISE AT A MINIMUM 3" CURB HEIGHT. BOULEVARD OR SIDEWALK GRADES.



REVISION: APPROVED: 11-04-2021

STANDARD PLAN 5-297.250 1 OF 6

APPROVED: 11-04-2021

REVISOR:

STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

PEDESTRIAN CURB RAMP DETAILS

MINNESOTA DEPARTMENT OF TRANSPORTATION

STATE DESIGN ENGINEER

LEGEND

THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT; IF SITE CONDITIONS INDICATE PEDESTRIAN RAMP SLOPE SHALL BE ALLOWED.

2.0% MINIMUM AND 6.3% MAXIMUM IN THE DIRECTION SHOWN

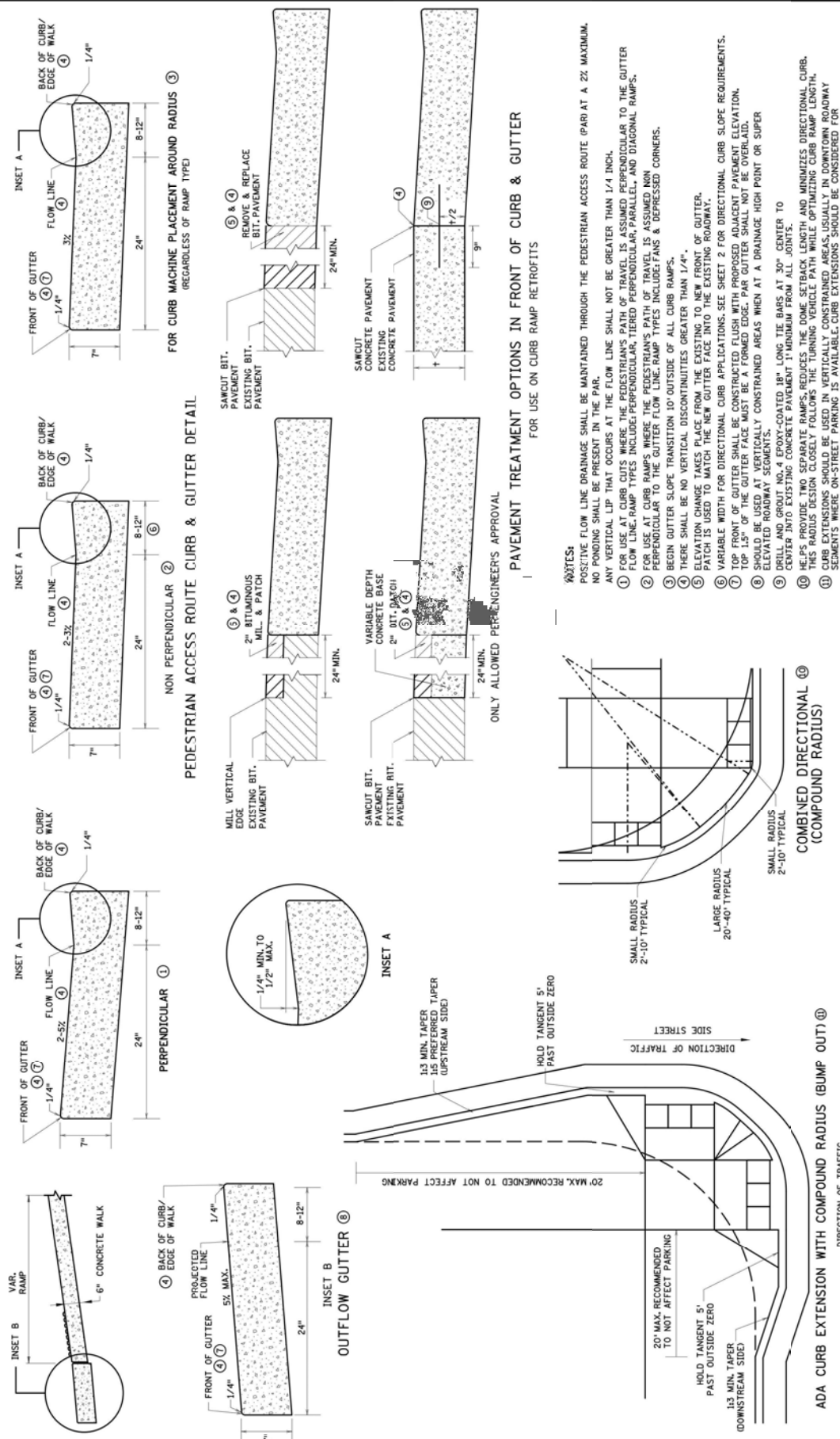
INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 5.0% IN ALL DIRECTIONS SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.

LANDING AREA - 4' X 4' MIN. (5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PARS.

X" CURB HEIGHT

DATE	REVISION DESCRIPTION	BY	CHKD
2022-11-28			

PROJECT NO.	2022-11786
CLIENT	FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
DATE	NOV 2022
SCALE	AS SHOWN
DRAWN BY	JK
CHECKED BY	JHM
PROJECT TITLE	CIVIL DETAILS
SHEET NO.	C19

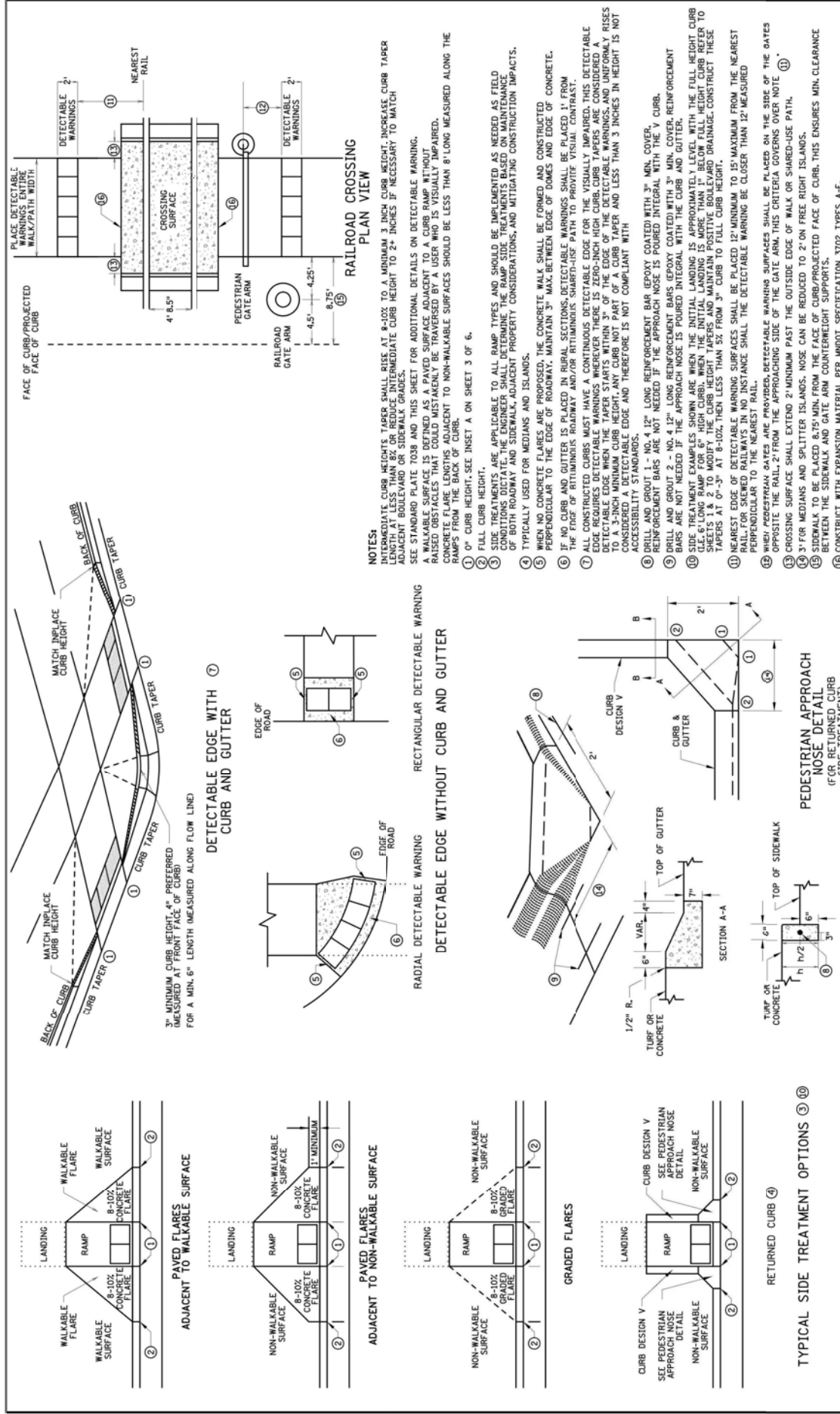


PEDESTRIAN ACCESS ROUTE CURB & GUTTER DETAIL

PAVEMENT TREATMENT OPTIONS IN FRONT OF CURB & GUTTER
FOR USE ON CURB RAMP RETROFITS

- NOTES:**
- POSITIVE FLOW LINE DRAINAGE SHALL BE MAINTAINED THROUGH THE PEDESTRIAN ACCESS ROUTE (PAR) AT A 2% MAXIMUM. NO PONDING SHALL BE PRESENT IN THE PAR.
 - ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE SHALL NOT BE GREATER THAN 1/4" INCH.
 - FOR USE AT CURB CUTS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED PERPENDICULAR TO THE GUTTER FLOW LINE, RAMP TYPES INCLUDE PERPENDICULAR, TIERED PERPENDICULAR, PARALLEL, AND DIAGONAL RAMPS.
 - FOR USE AT CURB RAMPS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED NON PERPENDICULAR TO THE GUTTER FLOW LINE, RAMP TYPES INCLUDE TRANSVERSE & DEPRESSED CORNERS.
 - BEGIN GUTTER SLOPE TRANSITION 10' OUTSIDE OF ALL CURB RAMPS.
 - THERE SHALL BE NO VERTICAL DISCONTINUITIES GREATER THAN 1/4".
 - ELEVATION CHANGE TAKES PLACE FROM THE EXISTING TO NEW FRONT OF GUTTER. PATCH IS USED TO MATCH THE NEW GUTTER FACE INTO THE EXISTING ROADWAY.
 - VARIABLE WIDTH FOR DIRECTIONAL CURB APPLICATIONS. SEE SHEET 2 FOR DIRECTIONAL CURB SLOPE REQUIREMENTS.
 - TOP FRONT OF GUTTER SHALL BE CONSTRUCTED FLUSH WITH PROPOSED ADJACENT PAVEMENT ELEVATION.
 - THE GUTTER FACE MUST BE A FORMED EDGE. PAR GUTTER SHALL NOT BE OVERLAPPED.
 - SHOULD BE USED IN VERTICALLY CONSTRAINED AREAS WHEN AT A DRAINAGE HIGH POINT OR SUPER ELEVATED ROADWAY SEGMENTS.
 - DRILL AND GROUT NO. 4 EPOXY-COATED 18" LONG TIE BARS AT 30" CENTER TO CENTER INTO EXISTING CONCRETE PAVEMENT 1" MINIMUM FROM ALL JOINTS.
 - HELPS PROVIDE TWO SEPARATE RAMPS, REDUCES THE DOME SETBACK LENGTH AND MINIMIZES DIRECTIONAL CURB. THIS RADIUS DESIGN CLOSELY FOLLOWS THE TURNING VEHICLE PATH WHILE OPTIMIZING CURB RAMP LENGTH.
 - CURB EXTENSIONS SHOULD BE USED IN VERTICALLY CONSTRAINED AREAS, USUALLY IN DOWNTOWN ROADWAY SITUATIONS, WHERE THERE IS LIMITED AVAILABLE SPACE. CURB EXTENSIONS SHOULD BE CONSIDERED FOR ALL INTERSECTIONS. THESE SPACE IS LIMITED.
 - PUSH BUTTONS MUST MEET AASHTO M318 CRITERIA AS DESCRIBED IN THE PUSH BUTTON LOCATION DETAIL SHEET.

STANDARD PLAN 5-297.250	3 OF 6	PEDESTRIAN CURB RAMP DETAILS
APPROVED: 11-04-2021	REVISED:	
		(TH) SHEET NO. OF SHEETS
STATE PROJ. NO.		
DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAY DESIGN AND CONSTRUCTION STATE ENGINEER		
REVISION: APPROVED: 11-04-2021 		



NOTES:
 INTERMEDIATE CURB HEIGHTS TAPER SHALL RISE AT 8-10% TO A MINIMUM 3 INCH CURB HEIGHT. INCREASE CURB TAPER LENGTH AT LESS THAN 5% OR REDUCE INTERMEDIATE CURB HEIGHT TO 2+ INCHES IF NECESSARY TO MATCH ADJACENT BOULEVARD OR SIDEWALK GRADES.
 SEE STANDARD PLATE 7038 AND THIS SHEET FOR ADDITIONAL DETAILS ON DETECTABLE WARNING.
 A WALKABLE SURFACE IS DEFINED AS A PAVED SURFACE ADJACENT TO A CURB RAMP WITHOUT RAISED OBSTACLES THAT COULD MISTAKENLY BE TRAVERSED BY A USER WHO IS VISUALLY IMPAIRED.
 RAMP SURFACES ADJACENT TO NON-WALKABLE SURFACES SHOULD BE LESS THAN 8' LONG MEASURED ALONG THE RAMP FROM THE BACK OF CURB.
 ① 0" CURB HEIGHT; SEE INSET A ON SHEET 3 OF 6.
 ② FULL CURB HEIGHT.
 ③ SIDE TREATMENTS ARE APPLICABLE TO ALL RAMP TYPES AND SHOULD BE IMPLEMENTED AS NEEDED AS FIELD CONDITIONS DICTATE. THE ENGINEER SHALL DETERMINE THE RAMP SIDE TREATMENTS BASED ON MAINTENANCE OF BOTH ROADWAY AND SIDEWALK, ADJACENT PROPERTY CONSIDERATIONS, AND MITIGATING CONSTRUCTION IMPACTS.
 ④ TYPICALLY USED FOR MEDIANS AND ISLANDS.
 ⑤ WHEN NO CONCRETE FLARES ARE PROPOSED, THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE EDGE OF ROADWAY. MAINTAIN 3" MAX. BETWEEN EDGE OF DOMES AND EDGE OF CONCRETE.
 ⑥ IF NO CURB AND GUTTER IS PLACED IN RURAL SECTIONS, DETECTABLE WARNINGS SHALL BE PLACED 1' FROM THE EDGE OF RETURNING ROADWAY AND/OR RETURNING SHARED-USE PATH TO PROVIDE VISUAL CONTRAST.
 ⑦ ALL CONSTRUCTED CURBS MUST HAVE A CONTINUOUS DETECTABLE EDGE FOR THE VISUALLY IMPAIRED. THIS DETECTABLE EDGE REQUIRES DETECTABLE WARNINGS WHEREVER THERE IS ZERO-INCH HIGH CURB. CURB TAPERS ARE CONSIDERED A DETECTABLE EDGE WHEN THE TAPER STARTS WITHIN 3" OF THE EDGE OF THE DETECTABLE WARNINGS, AND UNFORMALLY RISES TO A DETECTABLE EDGE. THIS DETECTABLE EDGE AND THEREFORE IS NOT COMPLIANT WITH ACCESSIBILITY STANDARDS.
 ⑧ DRILL AND GROUT 1 - NO. 4 1/2" LONG REINFORCEMENT BAR (EPOXY COATED) WITH 3" MIN. COVER. REINFORCEMENT BARS ARE NOT NEEDED IF THE APPROACH NOSE IS POURED INTEGRAL WITH THE V CURB.
 ⑨ DRILL AND GROUT 2 - NO. 4 1/2" LONG REINFORCEMENT BARS (EPOXY COATED) WITH 3" MIN. COVER. REINFORCEMENT BARS ARE NOT NEEDED IF THE APPROACH NOSE IS POURED INTEGRAL WITH THE CURB AND GUTTER.
 ⑩ SIDE TREATMENT EXAMPLES SHOWN ARE WHEN THE INITIAL LANDING IS APPROXIMATELY LEVEL WITH THE FULL HEIGHT CURB SHEETS LONG TO MODIFY THE CURB TAPER AND MAINTAIN POSITIVE BOLLARD AND DRAINAGE. CONSTRUCT THESE TAPERS AT 0'-3" AT 8-10%, THEN LESS THAN 5% FROM 3" CURB TO FULL CURB HEIGHT.
 ⑪ NEAREST EDGE OF DETECTABLE WARNING SURFACES SHALL BE PLACED 12" MINIMUM TO 15" MAXIMUM FROM THE NEAREST PERPENDICULAR TO THE NEAREST RAIL.
 ⑫ WHEN PEDESTRIAN GATES ARE PROVIDED, DETECTABLE WARNINGS SURFACES SHALL BE PLACED ON THE SIDE OF THE GATES OPPOSITE THE RAIL. 2' FROM THE APPROACHING SIDE OF THE GATE ARM. THIS CRITERIA GOVERNS OVER NOTE ⑪.
 ⑬ CROSSING SURFACE SHALL EXTEND 2' MINIMUM PAST THE OUTSIDE EDGE OF WALK OR SHARED-USE PATH.
 ⑭ 3' FOR MEDIANS AND SPLITTER ISLANDS. NOSE CAN BE REDUCED TO 2' ON FREE RIGHT ISLANDS.
 ⑮ SIDEWALK TO BE PLACED 8.75" MIN. FROM THE FACE OF CURB/PROJECTED FACE OF CURB. THIS ENSURES MIN. CLEARANCE BETWEEN THE SIDEWALK AND GATE ARM COUNTERWEIGHT SUPPORTS.
 ⑯ CONSTRUCT WITH EXPANSION MATERIAL PER MDOT SPECIFICATION 3702 TYPES A-E.
 ⑰ EXPANSION MATERIAL SHALL MATCH FULL HEIGHT OF ADJACENT CONCRETE.

MINNESOTA DEPARTMENT OF TRANSPORTATION

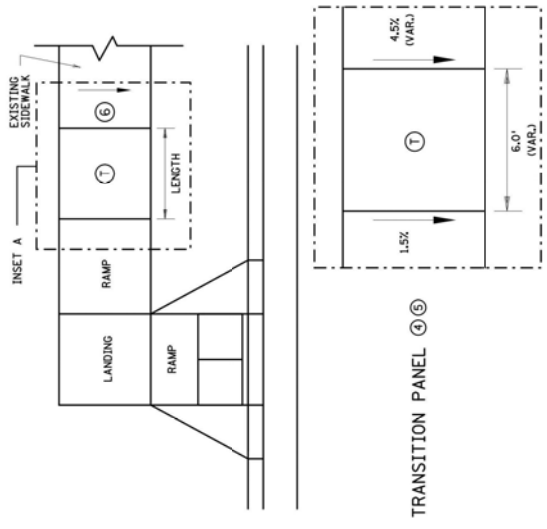
STANDARD PLAN 5-297.250 4 OF 6

APPROVED: 11-04-2021
 REVISION: JTB

STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

PEDESTRIAN CURB RAMP DETAILS

REVISION: APPROVED: 11-04-2021
 JTB
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TRANSITION PANEL ⑤
 INSET A

- NOTES:**
- A WALKABLE FLARE IS AN 8-10% CONCRETE FLARE THAT IS REQUIRED WHEN THE FLARE IS ADJACENT TO A WALKABLE SURFACE, OR WHEN THE PEDESTRIAN PATH OF TRAVEL OF A PUSH BUTTON TRAVERSES THE FLARE.
 - ALL V CURB CONTRACTION JOINTS SHALL MATCH CONCRETE WALK JOINTS.
 - WHERE RIGHT-OF-WAY ALLOWS, USE OF V CURB SHOULD BE MINIMIZED, GRADING ADJACENT TURF OR SLOPING ADJACENT PAYEMENT IS PREFERRED.
 - V CURB SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. V CURB NEXT TO BUILDING SHALL BE A 4" WIDTH AND SHALL MATCH PREVIOUS TOP OF SIDEWALK ELEVATIONS.
 - END TAPERS AT TRANSITION SECTION SHALL MATCH INPLACE SIDEWALK GRADES.
 - ALL V CURB SHALL MATCH BOTTOM OF ADJACENT WALK.
 - CONSTRUCT USING APPROVED EXPANSION MATERIAL PER MNDOT TYPE A-E EXPANSION. LEAVE A MINIMUM 1/2" TOP GAP AND SEAL WITH MNDOT APPROVED SILICONE PER MNDOT SPEC 3722.
 - THE MAX. RATE OF CROSS SLOPE TRANSITIONING IS 1" LINEAR FOOT OF SIDEWALK PER HALF PERCENT CROSS SLOPE. WHEN PAR WIDTH IS GREATER THAN 6' OR THE RUNNING SLOPE IS GREATER THAN 5% DOUBLE THE CALCULATED TRANSITION LENGTH. TRANSITION PANELS ARE TO ONLY BE USED AFTER THE RAMP, OR IF NEEDED, LANDING ARE AT THE FULL CURB HEIGHT (TYPICAL SECTION).
 - EXISTING CROSS SLOPE GREATER THAN 2.0%.

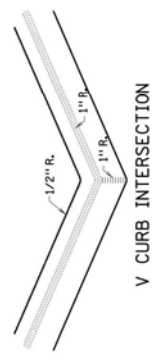
LEGEND

THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT. IF SITE CONDITIONS WARRANT, LONGITUDINAL SLOPES UP TO 8.3% OR FLATTER ARE ALLOWED.

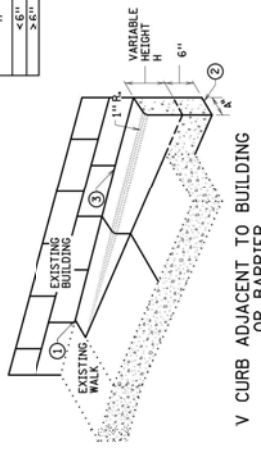
- INDICATED CROSS SLOPE RANGES SHALL BE ON EITHER SIDE OF THE WALK BETWEEN THE CURB AND THE SIDEWALK. THE CURB SHALL NOT EXCEED 2.0%.
- LANDING AREA - 4' X 4' MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PANS.
- TRANSITION PANEL(S) - TO BE USED FOR TRANSITIONING THE CROSS-SLOPE OF A RAMP TO THE EXISTING WALK. CROSS-SLOPE RATE OF TRANSITION SHOULD BE 0.5% PER 1' LINEAR FOOT OF WALK. SEE THIS SHEET FOR ADDITIONAL INFORMATION.

CONCRETE CURB DESIGN V

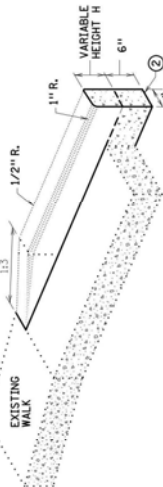
CURB HEIGHT H	CURB WIDTH W
< 6"	4"
≥ 6"	6"



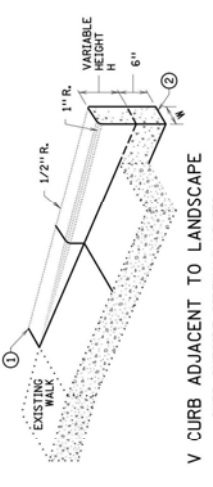
V CURB INTERSECTION



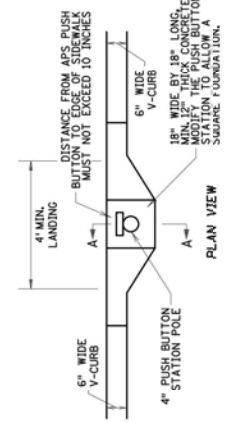
V CURB ADJACENT TO BUILDING OR BARRIER



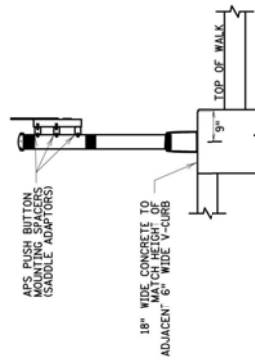
V CURB ADJACENT TO LANDSCAPE CURB WITHIN SIDEWALK LIMITS



V CURB ADJACENT TO LANDSCAPE CURB OUTSIDE SIDEWALK LIMITS

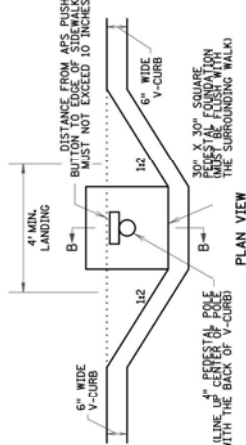


PLAN VIEW

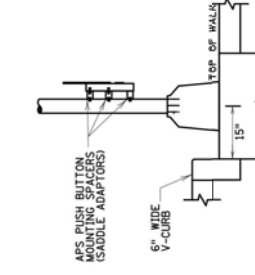


SECTION A-A

PUSH BUTTON STATION (V-CURB)



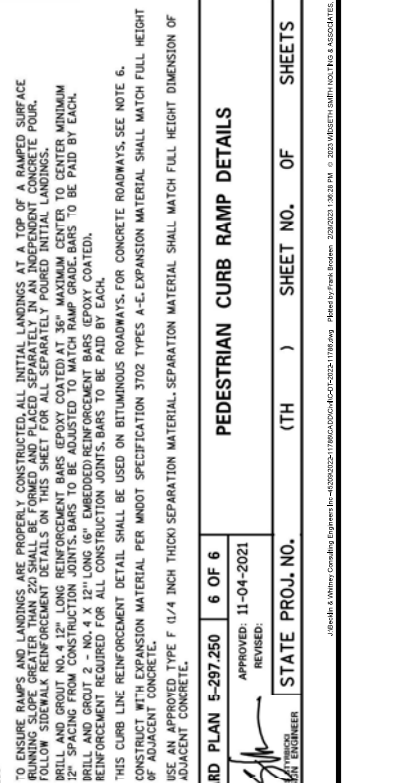
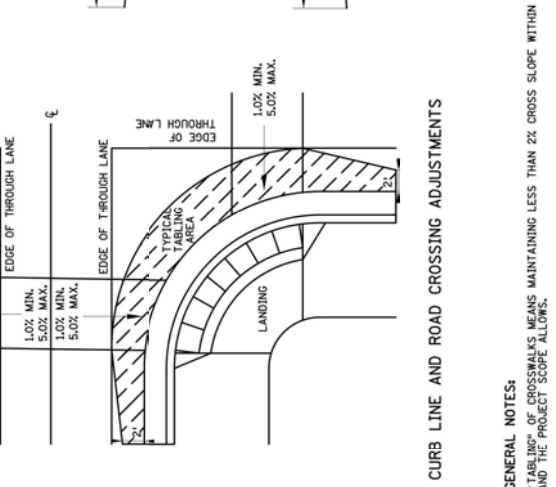
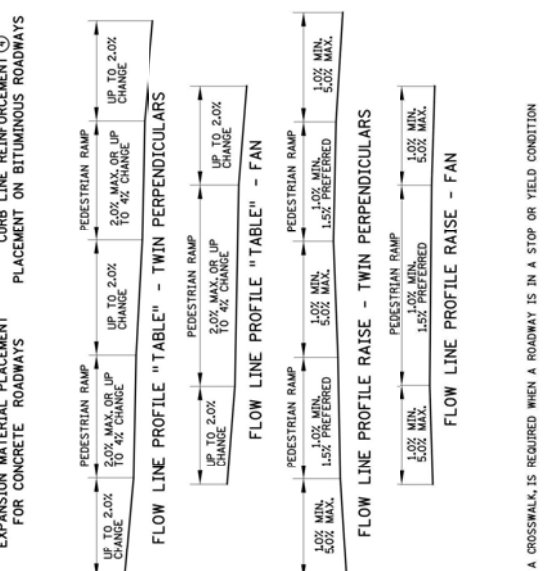
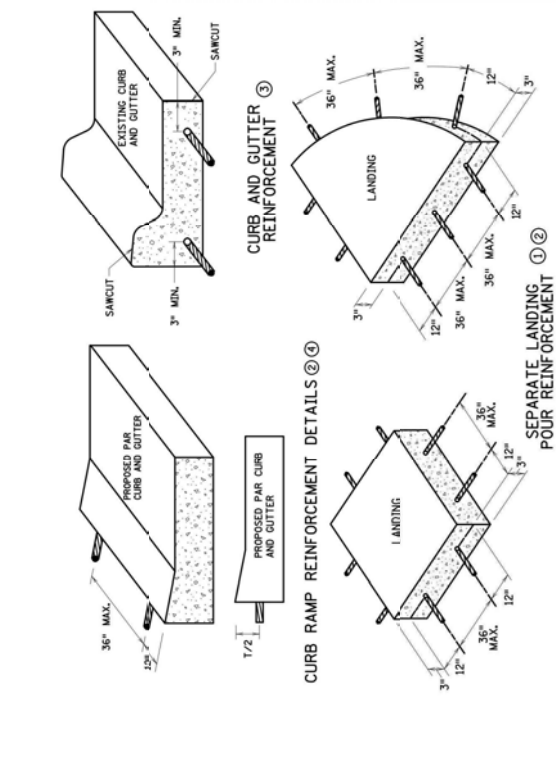
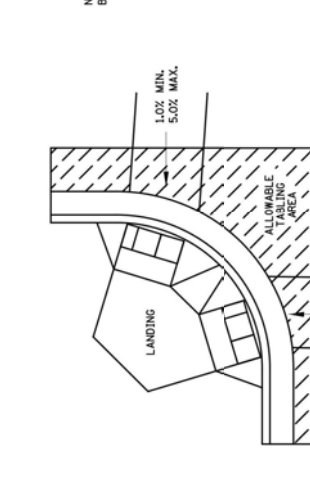
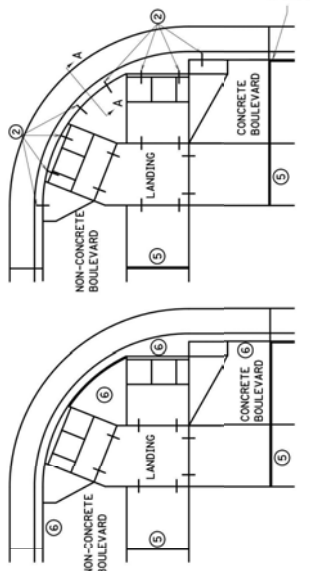
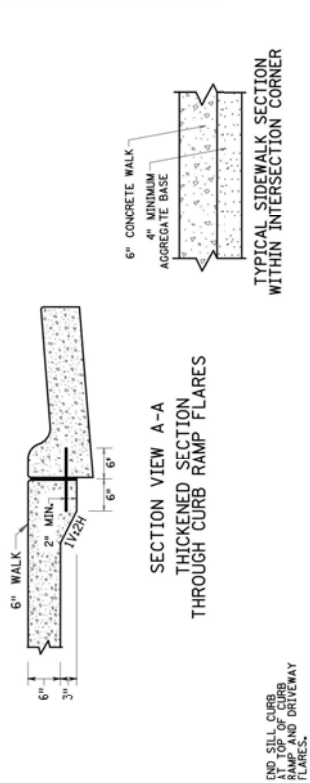
PLAN VIEW



SECTION B-B

SIGNAL PEDESTAL & PUSH BUTTON (V-CURB)

STANDARD PLAN 5-297.250 5 OF 6
 APPROVED: 11-04-2021
 REVISION: 11-04-2021
 STATE PROJ. NO. (TH) SHEET NO. OF SHEETS
 STATE DESIGN ENGINEER
 MINNESOTA DEPARTMENT OF TRANSPORTATION
 PEDESTRIAN CURB RAMP DETAILS



GENERAL NOTES:

- "TABLING" OF CROSSWALKS MEANS MAINTAINING LESS THAN 2% CROSS SLOPE WITHIN A CROSSWALK, IS REQUIRED WHEN A ROADWAY IS IN A STOP OR YIELD CONDITION AND THE PROJECT SCOPE ALLOWS.
- RECONSTRUCTION PROJECTS ON FULL PAVEMENT REPLACEMENT PROJECTS "TABLING" OF ENTIRE CROSSWALK SHALL OCCUR WHEN FEASIBLE.
- WHEN OVERLAY FROM EXISTING PAVEMENT CAN NOT EXTEND INTO THE THROUGH LANE, TABLE THE FLOW LINE TO 2% OR AS MUCH AS POSSIBLE WHILE ADHERING TO THE FOLLOWING CRITERIA:
 - 1.0% MIN. CROSS-SLOPE OF THE ROAD
 - 1.0% MIN. CROSS-SLOPE OF PEDESTRIAN RAMP
 - "TABLE" FLOW LINE UP TO 4% CHANGE FROM EXISTING SLOPE IN FRONT OF PEDESTRIAN RAMP
 - UP TO 2% CHANGE IN FLOW LINE FROM EXISTING SLOPE BEYOND THE PEDESTRIAN CURB RAMP
- STAND-ALONE ADA RETROFITS: FOLLOW MILL & OVERLAY CRITERIA ABOVE, HOWEVER ALL PAVEMENT MARKING IS DONE WITH BITUMINOUS PATCHING ON BITUMINOUS ROADWAYS AND FULL-DEPTH APRON REPLACEMENT ON CONCRETE ROADWAYS.
- RAISING OF CURB LINES SHOULD OCCUR IN VERTICALLY CONSTRAINED AREAS. RAISE THE CURB LINES ENOUGH TO ALLOW COMPLIANT RAMPS OR AS MUCH AS POSSIBLE WHILE ADHERING TO THE FOLLOWING CRITERIA:
 - 1.0% MIN. AND 5.0% MAX. CROSS-SLOPE OF THE ROAD
 - 1.0% MIN. FLOW LINE (ON EITHER SIDE OF PEDESTRIAN RAMP) TO MAINTAIN POSITIVE DRAINAGE
 - 5.0% MAX. CROSS-SLOPE OF PEDESTRIAN RAMP
 - 1.0% MIN. TO 5.0% MAX. CROSS-SLOPE OF THROUGH LANE ROADWAY TAPERS SHOULD BE 1" VERTICAL PER 15' HORIZONTAL
- TO ENSURE RAMPS AND LANDINGS ARE PROPERLY CONSTRUCTED, ALL INITIAL LANDINGS AT A TOP OF A RAMPED SURFACE RUNNING SLOPE GREATER THAN 2% SHALL BE FORMED AND PLACED SEPARATELY IN AN INDEPENDENT CONCRETE POUR. FOLLOW SIDEWALK REINFORCEMENT DETAILS ON THIS SHEET FOR ALL SEPARATELY POURED INITIAL LANDINGS.
- REINFORCEMENT SHALL BE PROVIDED FOR ALL INITIAL LANDINGS. REINFORCEMENT SHALL BE PROVIDED FOR MINIMUM 12" SPACING FROM CONSTRUCTION JOINTS. BARS TO BE ADJUSTED TO MATCH RAMP GRADE. BARS TO BE PAID BY EACH.
- BRILL AND GROUT 2 - NO. 4 X 12" LONG (6" EMBEDDED REINFORCEMENT BARS (EPOXY COATED), REINFORCEMENT REQUIRED FOR ALL CONSTRUCTION JOINTS. BARS TO BE PAID BY EACH.
- THIS CURB LINE REINFORCEMENT DETAIL SHALL BE USED ON BITUMINOUS ROADWAYS. FOR CONCRETE ROADWAYS, SEE NOTE 6.
- CONSTRUCT WITH EXPANSION MATERIAL PER MDOT SPECIFICATION 3702 TYPES A-E. EXPANSION MATERIAL SHALL MATCH FULL HEIGHT OF ADJACENT CONCRETE.
- USE AN APPROVED TYPE F (1/4 INCH THICK) SEPARATION MATERIAL. SEPARATION MATERIAL SHALL MATCH FULL HEIGHT DIMENSION OF ADJACENT CONCRETE.

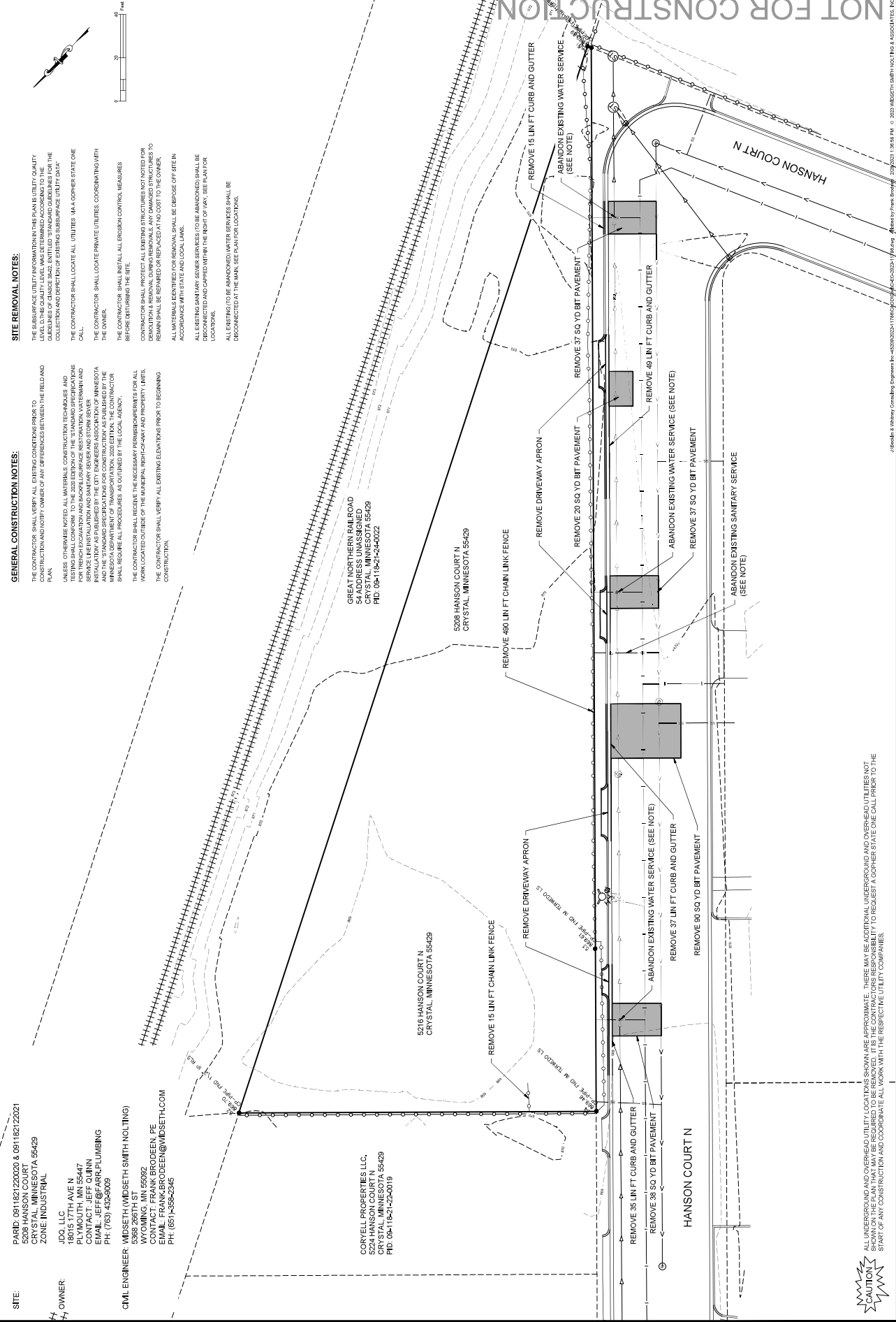
STANDARD PLAN 5-297.250 6 OF 6
 APPROVED: 11-04-2021
 REVISION: 11-04-2021

STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

PEDESTRIAN CURB RAMP DETAILS

MINNESOTA DEPARTMENT OF TRANSPORTATION

APPROVED: [Signature]
 STATE DESIGN ENGINEER



GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND METHODS SHALL CONFORM TO THE ADDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION AND HIGHWAY CONSTRUCTION, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION AND HIGHWAY CONSTRUCTION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS PRIOR TO ALL WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

SITE REMOVAL NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND METHODS SHALL CONFORM TO THE ADDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION AND HIGHWAY CONSTRUCTION, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION AND HIGHWAY CONSTRUCTION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS PRIOR TO ALL WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

SITE: PARID: 0911821220020 & 091182122021
 5208 HANSON COURT
 CRYSTAL, MINNESOTA 55429
 ZONE INDUSTRIAL

OWNER: JDO, LLC
 18015 17TH AVE N
 PLYMOUTH, MN 55447
 EMAIL: JEFF@FARRPLUMBING
 PH: (763) 432-2609

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5395 286TH ST
 CRYSTAL, MN 55429
 CONTACT: FRANK BROEDEN, PE
 EMAIL: FRANK.BROEDEN@WIDSETH.COM
 PH: (651)-358-2345

CORVELL PROPERTIES, LLC,
 5224 HANSON COURT N
 CRYSTAL, MINNESOTA 55429
 PH: 651-1921-2460/9

ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A Gopher State One Call PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.



WIDSETH ARCHITECTS, ENGINEERS, SCIENTISTS & SURVEYORS, INC. 2023.02.01.10:30 AM © 2023 WIDSETH ARCHITECTS, ENGINEERS, SCIENTISTS & SURVEYORS, INC.

LAND USE CALCULATIONS:
 TOTAL PROPERTY = 0.94 ACRES
 PROPOSED BUILDING AREA = 13,930 SQ. FT.
 EXISTING IMPERVIOUS COVERAGE = 0.22 ACRES
 EXISTING SITE COVERAGE = 23%
 PROPOSED IMPERVIOUS COVERAGE = 0.75 ACRES
 PROPOSED SITE COVERAGE = 80%
 PROPOSED GREEN SPACE = 20%

SITE PLAN NOTES:
 THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THE QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHANCE 50-2. THIS INFORMATION WAS OBTAINED FROM THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA.
 CONTRACTOR SHALL COVER STATE ONE CALL PRIOR TO BEGINNING REMOVALS.
 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD AND THE PLAN.
 CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING TRAFFIC CONTROL AND ALL NEIGHBORING PROPERTIES. THE MINNESOTA TRAFFIC CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE TRAFFIC CONTROL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
 THE CONTRACTOR SHALL SECURE THE NECESSARY PERMITS/RESOURCES FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT OF WAY AND PROPERTY LIMITS.
 DUMPSTERS TO BE LOCATED INSIDE OF THE BUILDING.
 ALL STRIPING TO BE F SOLE LINE PAINT (WHITE) UNLESS OTHERWISE SPECIFIED IN THIS PLAN.
 PAVEMENT MESSAGES AND MARKINGS AS SHOWN ON THE PLAN SHALL BE WHITE AND SHALL FOLLOW THE DIMENSIONS AS LISTED IN THE MNDOT STANDARD BIDS AND MARKINGS MANUAL FOR PAVEMENT MESSAGES.
 PROPOSED SIGNAGE SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), JANUARY 2003.

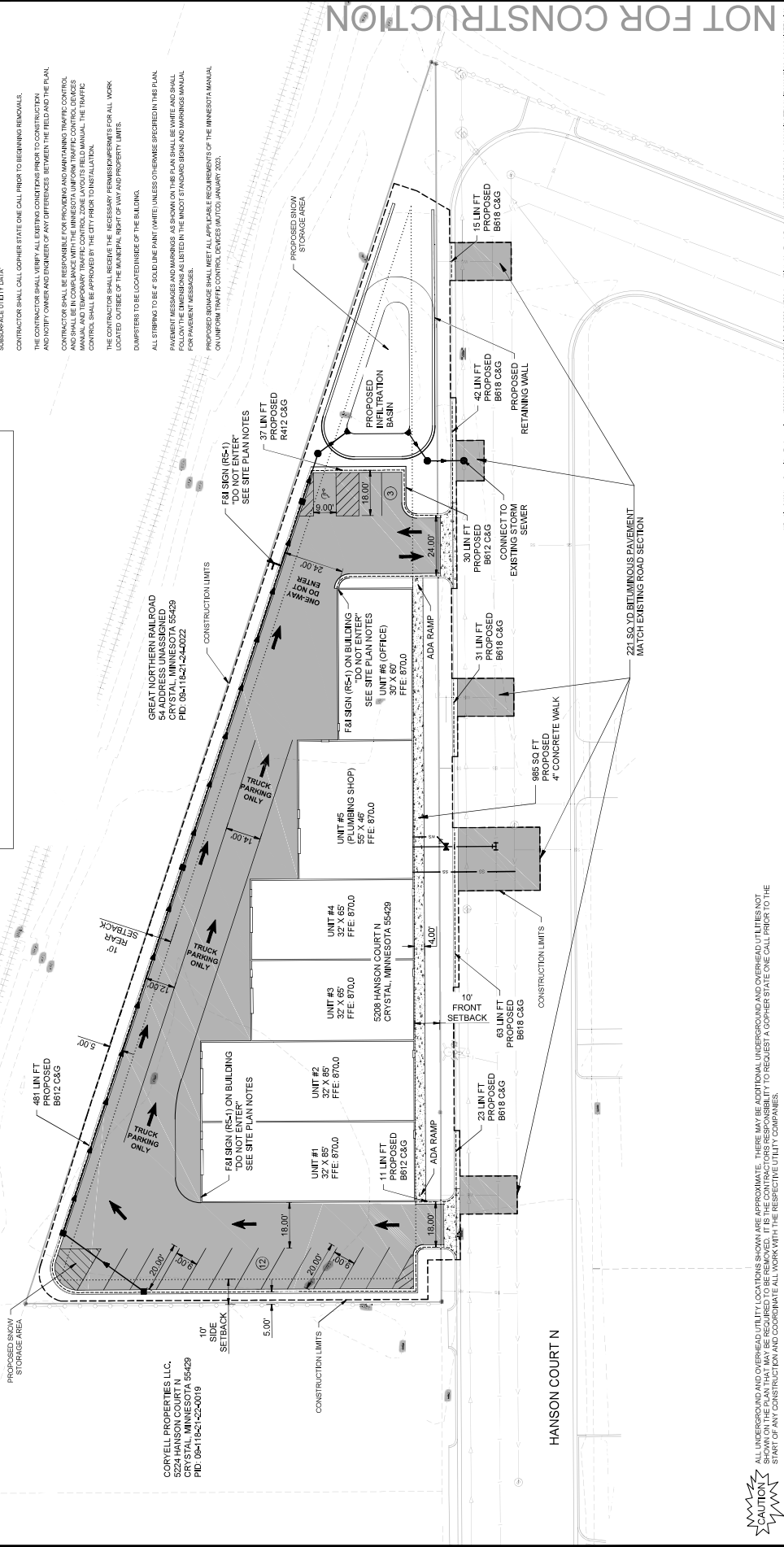
PARKING CALCULATIONS:
 INDUSTRIAL REQUIREMENTS (WAREHOUSING):
 4 SPACES + 1 SPACE FOR EACH 3,000 SQ. FT.
 MIN. SPACES REQUIRED = 4 + 1 (12,130 SQ FT / 3,000 SQ FT) = 8.0 SPACES MIN.
 COMMERCIAL REQUIREMENTS (OFFICE):
 1 SPACE FOR EACH 500 SQ. FT.
 MIN. SPACES REQUIRED = 1 (1800 SQ FT / 500 SQ FT) = 3.6 SPACES = 4 SPACES MIN.
 TOTAL SPACES REQUIRED = 12 SPACES + 1 ACCESSIBLE SPACE
 TOTAL SPACES PROVIDED: 14 SPACES + 1 ACCESSIBLE SPACE
 (X) TOTAL NUMBER OF SPACES IN EACH PARKING AREA

SITE:
 PARID: 091182122020 & 091182122021
 5208 HANSON COURT
 CRYSTAL, MINNESOTA 55429
 ZONE: INDUSTRIAL

OWNER:
 JDO, LLC
 18015 17TH AVE N
 PLYMOUTH, MN 55447
 CONTACT: JEFF QUINN
 PHONE: (763) 432-8009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLLING)
 5308 286TH ST
 MINNETONKA, MN 55345
 CONTACT: FRANK BRODIE, PE
 EMAIL: FRANK.BRODIE@WIDSETH.COM
 PH: (651)-356-2346

CORVELL PROPERTIES LLC,
 5224 HANSON COURT N
 CRYSTAL, MN 55429
 PID: 091182122020-091182122021



NOT FOR CONSTRUCTION

DATE	REVISION	DESCRIPTION
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08/21/2021	2	REVISED PER COMMENTS
08/21/2021	3	REVISED PER COMMENTS
08/21/2021	4	REVISED PER COMMENTS
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08/21/2021	97	REVISED PER COMMENTS
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08/21/2021	99	REVISED PER COMMENTS
08/21/2021	100	REVISED PER COMMENTS



GENERAL CONSTRUCTION NOTES:
 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.
 UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTINGS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL INCORPORATE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
 THE CONTRACTOR SHALL RESOLVE THE NECESSARY PERMITS/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LINES.
 THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

GRADING PLAN NOTES:
 THE SURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE COLLECTION AND REPORT OF EXISTING SURFACE UTILITY DATA. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
 MAINTENANCE SHALL BE MAINTAINED WITH THE CITY PRIOR TO BEGINNING WORK.
 SPOT ELEVATIONS SHOW INDICATE FINISHED SURFACE GRADE UNLESS OTHERWISE NOTED.
 ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER UNLESS OTHERWISE NOTED ON THE PLANS.

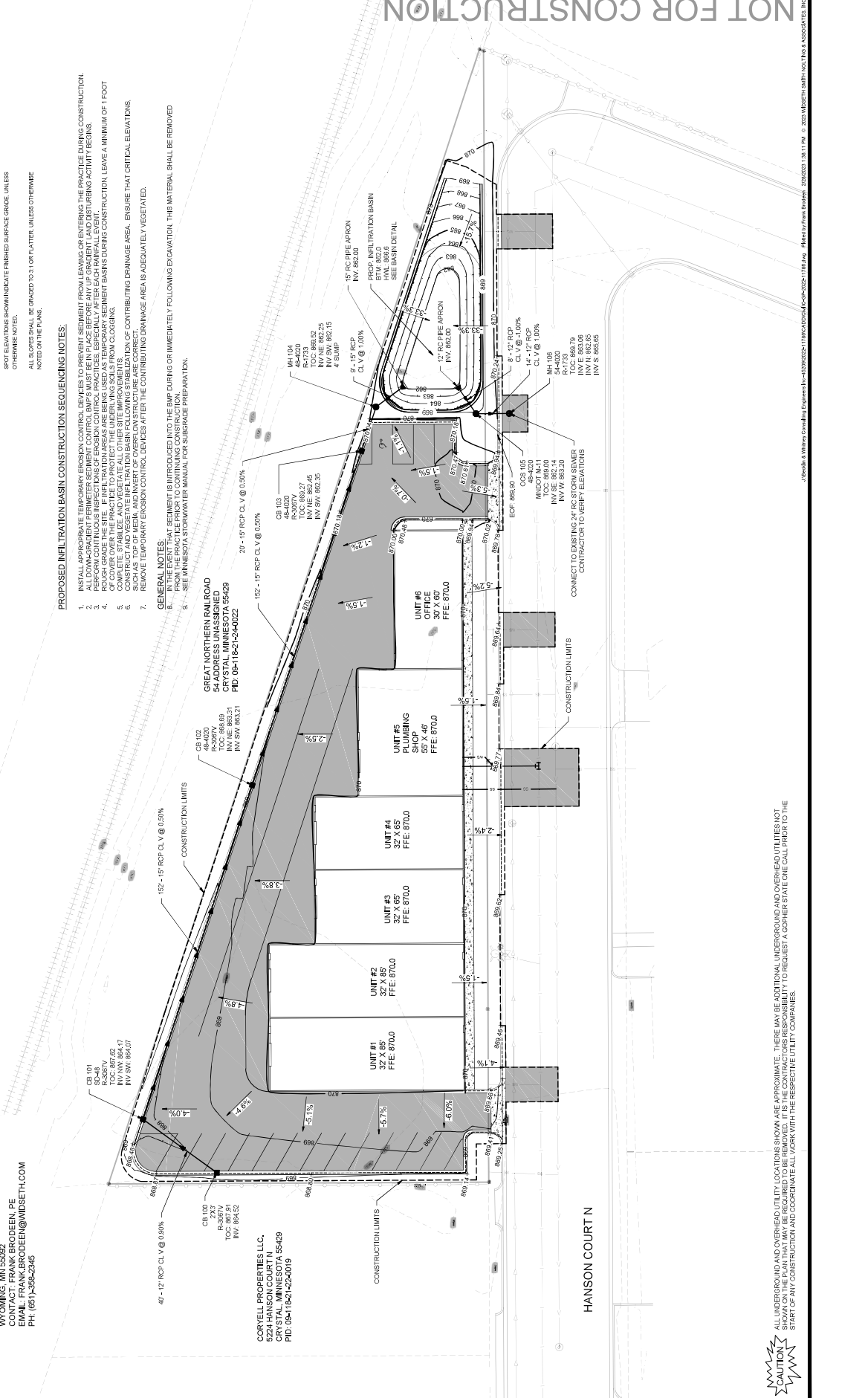
PROPOSED INFILTRATION BASIN CONSTRUCTION SEQUENCING NOTES:
 1. INSTALL EROSION CONTROL DEVICES TO PREVENT EROSION PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMPs MUST BE IN PLACE BEFORE ANY UP-GRADE AND DRAINAGE ACTIVITY BEGINS.
 3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES, ESPECIALLY AFTER EACH RAINFALL EVENT.
 4. COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOSINGS.
 5. COMPLETE, STABILIZE AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
 6. SUCH AS TOP OF MEDIA AND INVERT OF OVERFLOW STRUCTURE ARE CORRECT.
 7. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREAS ADEQUATELY VEGETATED.
 8. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
 9. SEE MINNESOTA COMPANION MANUAL FOR SUBGRADE PREPARATION.

GENERAL NOTES:
 1. GREAT NORTHERN RAILROAD
 54 ADDRESS UNASSIGNED
 CRYSTAL, MINNESOTA 55429
 PID: 06-11821-22-0022
 2. CORVILL PROPERTIES, LLC.
 54 ADDRESS UNASSIGNED
 CRYSTAL, MINNESOTA 55429
 PID: 06-11821-22-0019

OWNER:
 JDC, LLC
 5200 W. WYOMING AVE. N.
 PLYMOUTH, MN 55447
 CONTACT: JEFF QUINN
 EMAIL: JEFF@FARR-PLUMBING
 PH: (763) 452-9009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLLING)
 5389 268TH ST
 WYOMING, MN 55992
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651) 436-6346

SITE:
 PARID: 06-11821-22-020 & 06-11821-22-021
 5200 W. WYOMING AVE. N.
 CRYSTAL, MINNESOTA 55429
 ZONE: INDUSTRIAL



NOT FOR CONSTRUCTION

ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A Gopher STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.



DATE	REVISION	DESCRIPTION

TURF ESTABLISHMENT AND EROSION CONTROL PLAN NOTES:

THE SURFACE UTILITY INFORMATION IN THIS PLAN IS TO BE USED TO DETERMINE THE QUALITY OF THE SOIL. THE QUALITY LEVEL HAS BEEN DETERMINED ACCORDING TO THE GUIDELINES OF CHAPTER 35.02, ENHANCED STANDARD OUTLINES FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES, AND THE UTILITY DATA.

ALL CONSTRUCTION SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE REGULATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

ALL EXPOSED SOILS SHALL BE STABILIZED WITHIN 14 CALENDAR DAYS OF EXPOSURE TO THE ELEMENTS OF WEATHER. SOIL STABILIZATION SHALL BE ACCOMPLISHED BY APPLYING AN APPROPRIATE SOIL STABILIZER TO THE EXPOSED SOILS.

ALL AREAS TO BE ESTABLISHED TO GRASS COVER SHALL RECEIVE A TOPSOIL AND SOIL OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SEE PLAN FOR A COMPLETE LEGEND OF HATCHES AND SYMBOLS USED FOR TURF ESTABLISHMENT AND EROSION CONTROL.

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES, AND TESTING SHALL CONFORM TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION, THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

LEGEND:

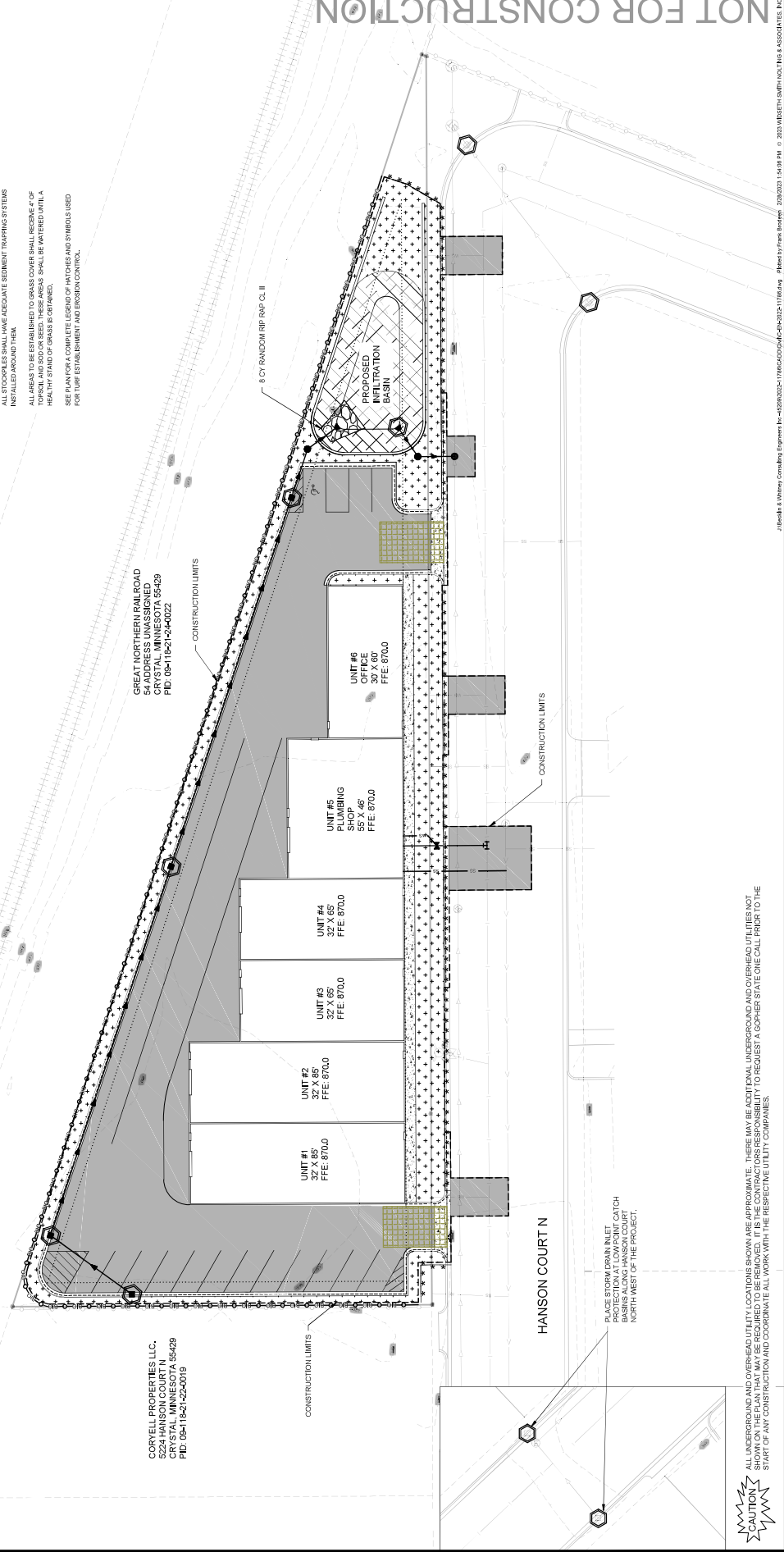
- SEEDING CONTROL (AS SHOWN)
- SEED MIXTURE: SEED @ 25 LBS/AC, FERTILIZER TYPE @ 30 LBS/AC, REPT. AT 15 DAY INTERVALS
- SEED MIXTURE: SEED @ 25 LBS/AC, REPT. AT 15 DAY INTERVALS
- ROCK CONSTRUCTION LEFT
- RANDOM RP RAP CL II
- STORM DRAIN INLET PROTECTION

SITE: PARID: 091182122020 & 091182122021
 18015 17TH AVE N
 CRYSTAL, MN 55429

OWNER: JDO, LLC
 18015 17TH AVE N
 CRYSTAL, MN 55429
 CONTACT: JEFF QUINN
 EMAIL: JEFF@FARR-PLUMBING
 PH: (763) 452-2609

CML ENGINEER: WIDSETH (WIDSETH SMITH HOLDING)
 5208 2625TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651) 368-2346

CONVEYOR: CORVELL PROPERTIES, LLC
 5224 HANSON COURT N
 CRYSTAL, MN 55429
 PH: 0911821-22-0019



CAUTION

ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THIS PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A COPPER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

NOT FOR CONSTRUCTION

PROJECT:
OFFICE WAREHOUSE

OWNER:
JEFF QUINN
ADDRESS:
5208 AND 5216 HANSON COURT
CRYSTAL, MN.

CONTRACTOR:
FARR PLUMBING & HEATING
CONTACT: JEFF QUINN
PHONE: 763-432-9009
E-MAIL: jeff@farr.plumbing

PLANS PROVIDED BY:

SCHMIERS HOME DESIGN
1628 COUNTY HIGHWAY 19 N.E.
SPRING LAKE PARK, MN 55432

TEL: (763) 785-2105
SchHomeDesign@aol.com

REVISED CONCEPT PLAN
MARCH 01, 2023

ENGINEERING PROVIDED BY:
BECKLIN & WHITNEY
CONSULTING ENGINEERS, INC.
139 1ST AVE E., SUITE 100
P.O. BOX 471
CAMBRIDGE, MN, 55008
TEL: (763) 689-5631
FAX: (763) 552-5631

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR UNDER MY CLOSE PERSONAL
SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER
AND THAT I AM NOT PROVIDING ENGINEERING SERVICES
IN ANY STATE OTHER THAN THE STATE OF MINNESOTA.

WILLIAM A. BECKLIN, P.E.
DATE: 03/01/2023 REG. NO. 16494

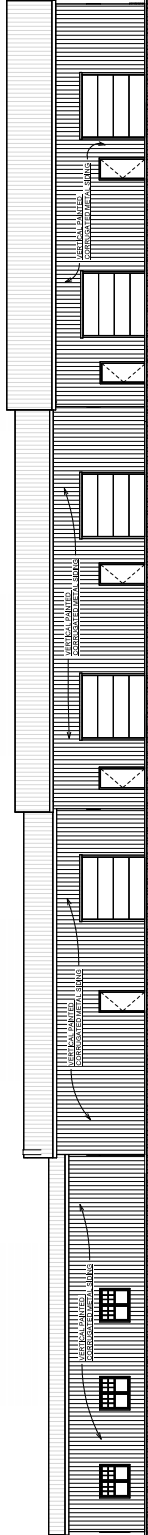
DATE: 03/01/2023 DRAWN: DCK/S.
JOB NO: 2276 CHECKED: R.J.S.

ELEVATIONS

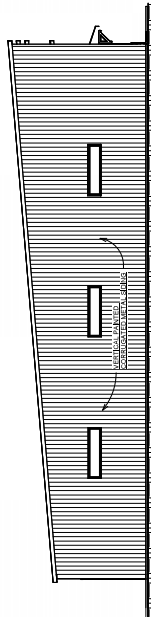
SCALE: 1/8" = 1'-0"

PAGE NO.

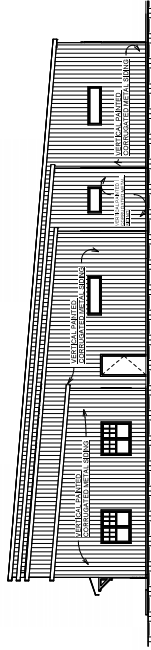
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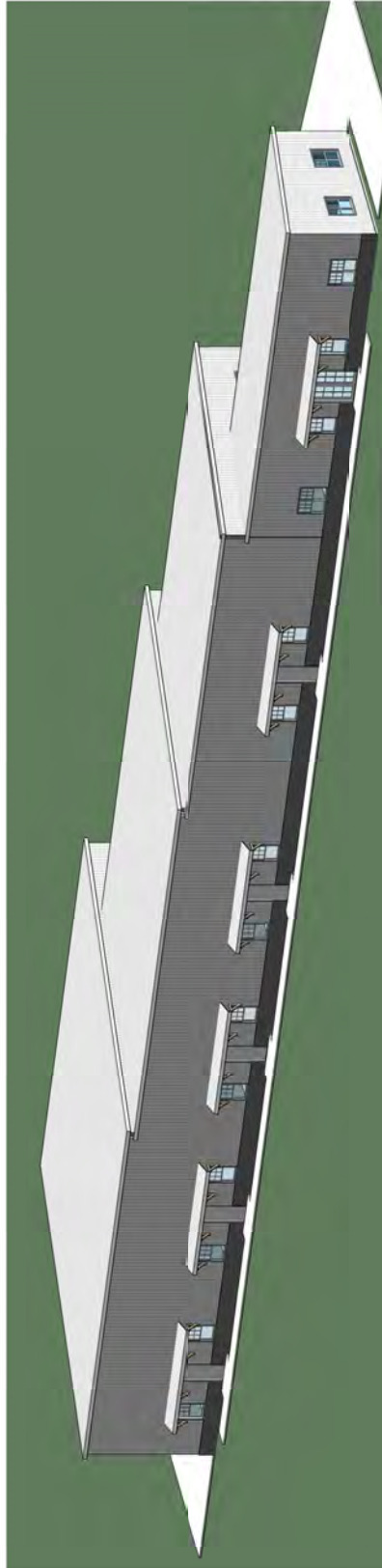
1 NORTH EAST ELEVATION
1/8" = 1'-0"



2 NORTH WEST ELEVATION
1/8" = 1'-0"

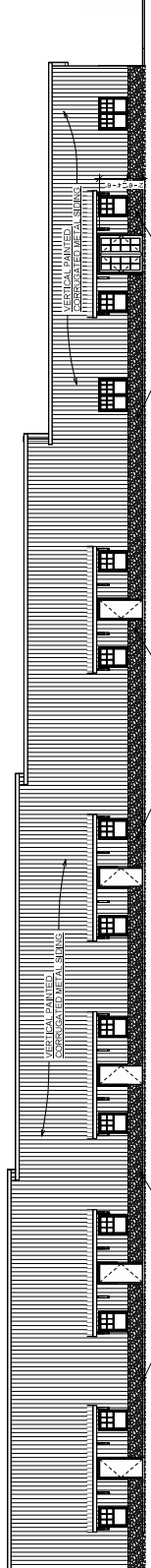


3 SOUTH EAST ELEVATION
1/8" = 1'-0"



4 3-D PERSPECTIVE SOUTH VIEW

NOTE: IF ROOFTOP EQUIPMENT IS TO BE USED, A SCREENING PLAN WILL BE PROVIDED WITH APPLICATION FOR PERMIT



5 SOUTH WEST ELEVATION
1/8" = 1'-0"

PROJECT:
OFFICE WAREHOUSE

OWNER:
JEFF QUINN
ADDRESS:
5208 AND 5216 HANSON COURT
CRYSTAL, MN.

CONTRACTOR:
FARR PLUMBING & HEATING
CONTACT: JEFF QUINN
PHONE: 763-432-9009
E-MAIL: jeff@farr.plumbing

PLANS PROVIDED BY:

SCHMIERS HOME DESIGN
1628 COUNTY HIGHWAY 10 N.E.
SPRING LAKE PARK, MN 55432

TEL: (763) 785-2105
SchHomeDesign@aol.com

REVISED CONCEPT PLAN
MARCH 01, 2023

ENGINEERING PROVIDED BY:
BECKLIN & WHITNEY
CONSULTING ENGINEERS, INC.

139 1ST AVE E., SUITE 100
P.O. BOX 471
CAMBRIDGE, MN. 55008

TEL: (763) 689-5631
FAX: (763) 552-5631

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS PREPARED
BY ME OR UNDER MY CLOSE PERSONAL
SUPERVISION AND THAT I AM A DULY LICENSED
ENGINEER IN THE STATE OF MINNESOTA.
WILLIAM A. BECKLIN, P.E.

WILLIAM A. BECKLIN, P.E. REG. NO. 19494
DATE: 03/01/2023

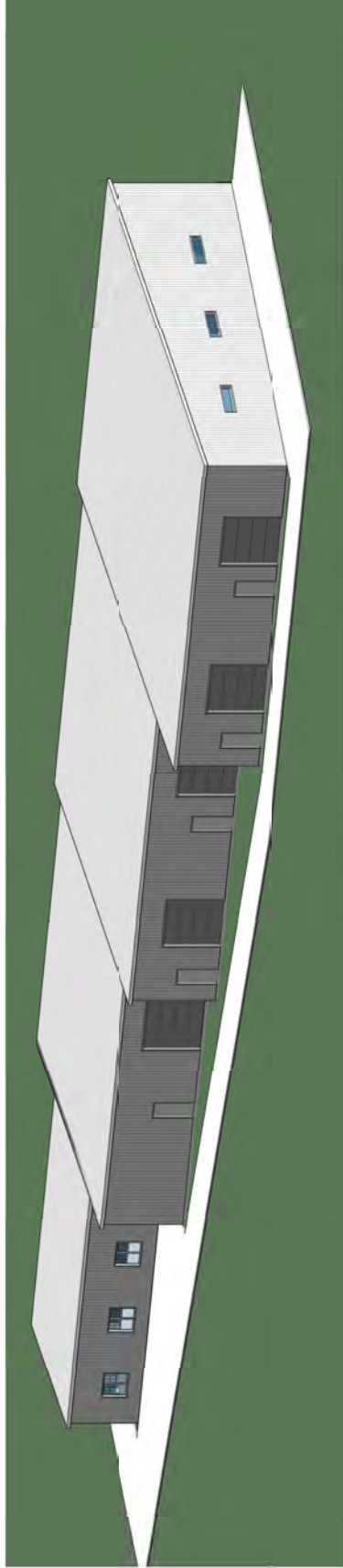
DATE: 03/28/2023 DRAWN: DECKS
JOB NO: 02276 CHECKED: R.J.S.

3-D PERSPECTIVES

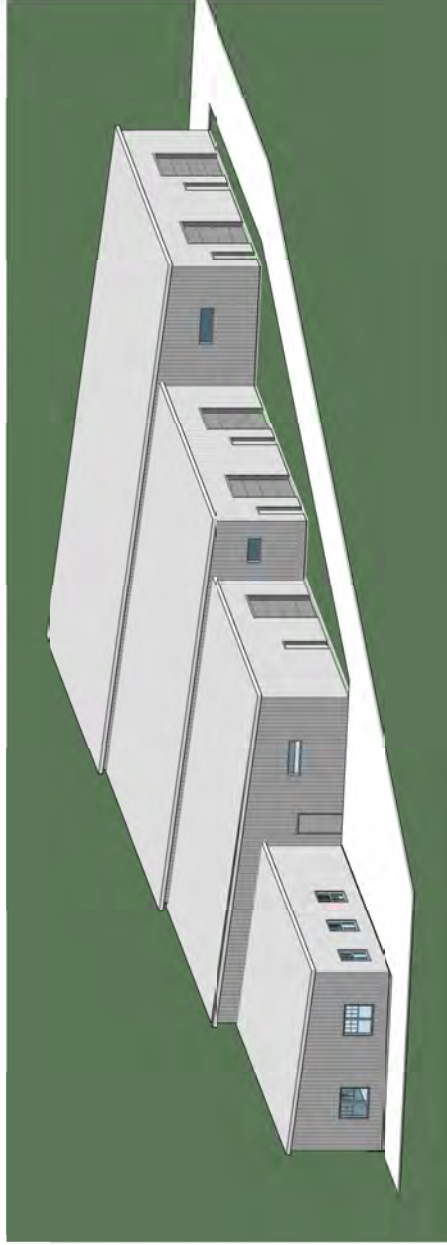
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PAGE NO.

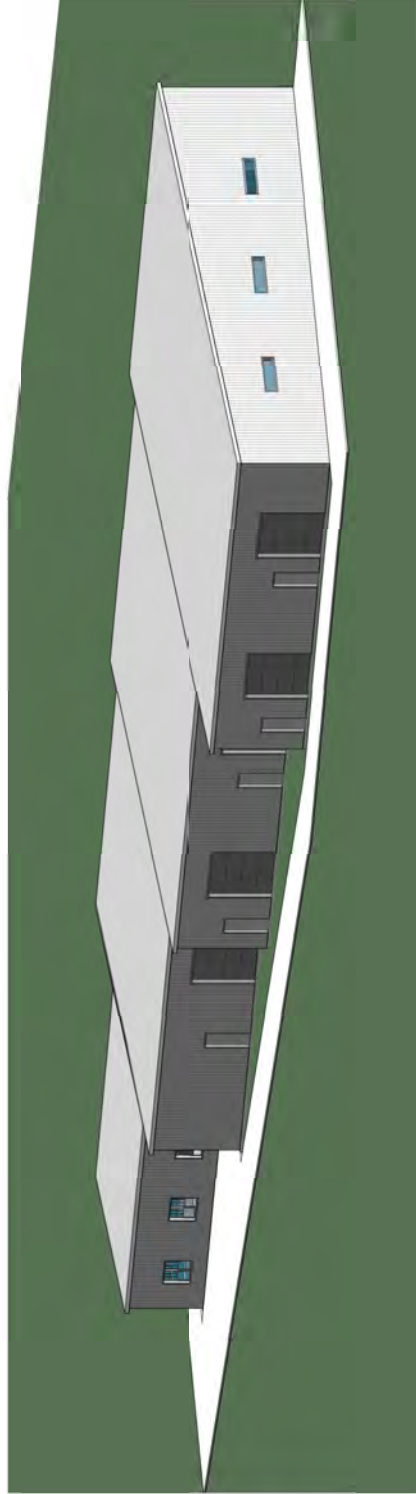
D-1



1 3-D PERSPECTIVE NORTH VIEW



2 3-D PERSPECTIVE EAST VIEW



3 3-D PERSPECTIVE WEST VIEW

PROJECT

FARR PLUMBING & HEATING

REV#	DATE	DESCRIPTION
1	2/24/23	CITY MEMORANDUM

PROJECT ADDRESS
 5208 Hanson Court,
 Crystal, MN 55429

OWNERS INFORMATION
 JEFF QUIN 763-432-9009
 OWNER jqu@farr-plumbing.com
 FARR PLUMBING & HEATING



DRAWN BY: JG CHECKED BY: JA
 Becklin & Whitney
 Consulting Engineers, Inc.
 139 1st Ave. E, Suite 100
 P.O. Box 471
 Cambridge, MN 55008
 Ph: 763-689-5631
 office.becklinwhitney@gmail.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jerry W. Anderson License # 136339
 Date: February 14, 2023

SHEET NAME

LANDSCAPE PLAN

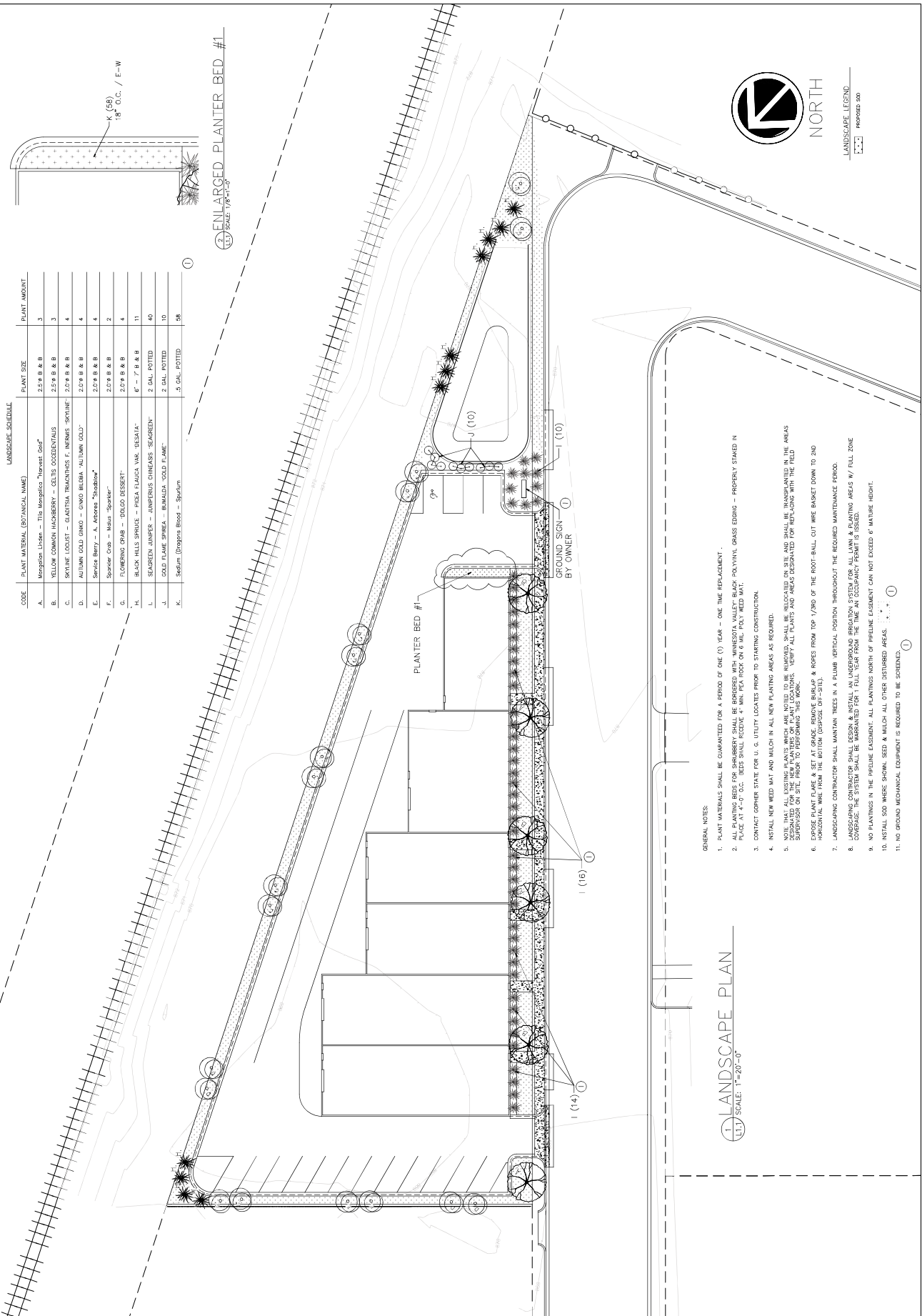
SHEET NUMBER

L-1

LANDSCAPE SCHEDULE

CODE	PLANT MATERIAL (BOTANICAL NAME)	PLANT SIZE	PLANT AMOUNT
A.	Marginal Usher - <i>Thlaspi</i> "Harvest Self"	2.5" B & B	3
B.	YELLOW COMMON HUCKLEBERRY - <i>CELTIS COCCIDENTALIS</i>	2.5" B & B	3
C.	SKYLINE LOOKOUT - <i>GLADIOLA TRIMORPHIS</i> F. INFERNS "SKYLINE"	2.0" B & B	4
D.	AUTUMN GOLD GINKGO - <i>GINKGO BILOBA</i> "AUTUMN GOLD"	2.0" B & B	4
E.	Service Berry - <i>A. verticillata</i> "Shrubbery"	2.0" B & B	4
F.	Spencer Crab - <i>Malus "Spencer"</i>	2.0" B & B	2
G.	FLOWERING CRAB - <i>DIOLOLO DESSERT</i>	2.0" B & B	4
H.	BLACK HILLS SPRUCE - <i>PICEA FLAUGA</i> VAR. "DESAIRA"	8" - 7" B & B	11
I.	SCARLET JUNEBER - <i>JUNIPERUS CHINENSIS</i> "SCARLET"	2 GAL POTTED	40
J.	COLD PLANE SPREA - <i>BIVALBA "COLD PLANE"</i>	2 GAL POTTED	10
K.	Stadium (Dragon's Blood - <i>Sturium</i>	5 GAL POTTED	58

ENLARGED PLANTER BED #1
 1/4" SCALE 1/8" = 1'-0"



GENERAL NOTES:

1. PLANT MATERIALS SHALL BE COMPLETED FOR A PERIOD OF ONE (1) YEAR - ONE TIME REPLACEMENT.
2. ALL PLANTING BEDS FOR SHRUBBERY SHALL BE BORDERED WITH MINNESOTA VALLEY BLACK POLYVINYL GRASS EDGING - PROPERLY STAKED IN PLACE AT 4'-0" O.C. BEDS SHALL RECEIVE 4" MIN. PEA ROCK ON 6" MIN. POLY WED MAT.
3. CONTACT OTHER STATE FOR U.G. UTILITY LOCATES PRIOR TO STARTING CONSTRUCTION.
4. INSTALL NEW WED MAT AND MULCH IN ALL NEW PLANTING AREAS AS REQUIRED.
5. NOTIFY ALL EXISTING PLANTS WHICH ARE NOTED TO BE REMOVED. SHALL BE RELOCATED ON SITE AND SHALL BE TRANSPORTED IN THE AREAS DESIGNATED FOR REMOVAL. NOTIFY ALL PLANTS AND AREAS DESIGNATED FOR REMOVAL WITH THE FIELD SUPERVISOR ON SITE PRIOR TO PERFORMING THIS WORK.
6. EXPOSE PLANT FLARE & SET AT GRADE. REMOVE BURIAL & ROSES FROM TOP 1/4" OF THE ROOT-BALL. CUT WIRE BASKET DOWN TO 2ND HORIZONTAL WIRE FROM THE BOTTOM (DISPOSEL OFF-SITE).
7. LANDSCAPING CONTRACTOR SHALL MAINTAIN TREES IN A PLUMB VERTICAL POSITION THROUGHOUT THE REQUIRED MAINTENANCE PERIOD.
8. LANDSCAPING CONTRACTOR SHALL DESIGN & INSTALL AN UNDERGROUND IRRIGATION SYSTEM FOR ALL LAWN & PLANTING AREAS 1/4" FULL SOLE COVERAGE. THE SYSTEM SHALL BE WARRANTED FOR 1 FULL YEAR FROM THE TIME AN OCCUPANCY PERMIT IS ISSUED.
9. NO PLANTINGS IN THE PIPELINE EASEMENT. ALL PLANTINGS NORTH OF PIPELINE EASEMENT CAN NOT EXCEED 4' MAXIMUM HEIGHT.
10. INSTALL SO2 WHEELS. SEED & MULCH ALL OTHER DISTURBED AREAS.
11. NO GROUND MECHANICAL EQUIPMENT IS REQUIRED TO BE SCREENED.

LANDSCAPE PLAN
 1/4" SCALE: 1" = 20'-0"

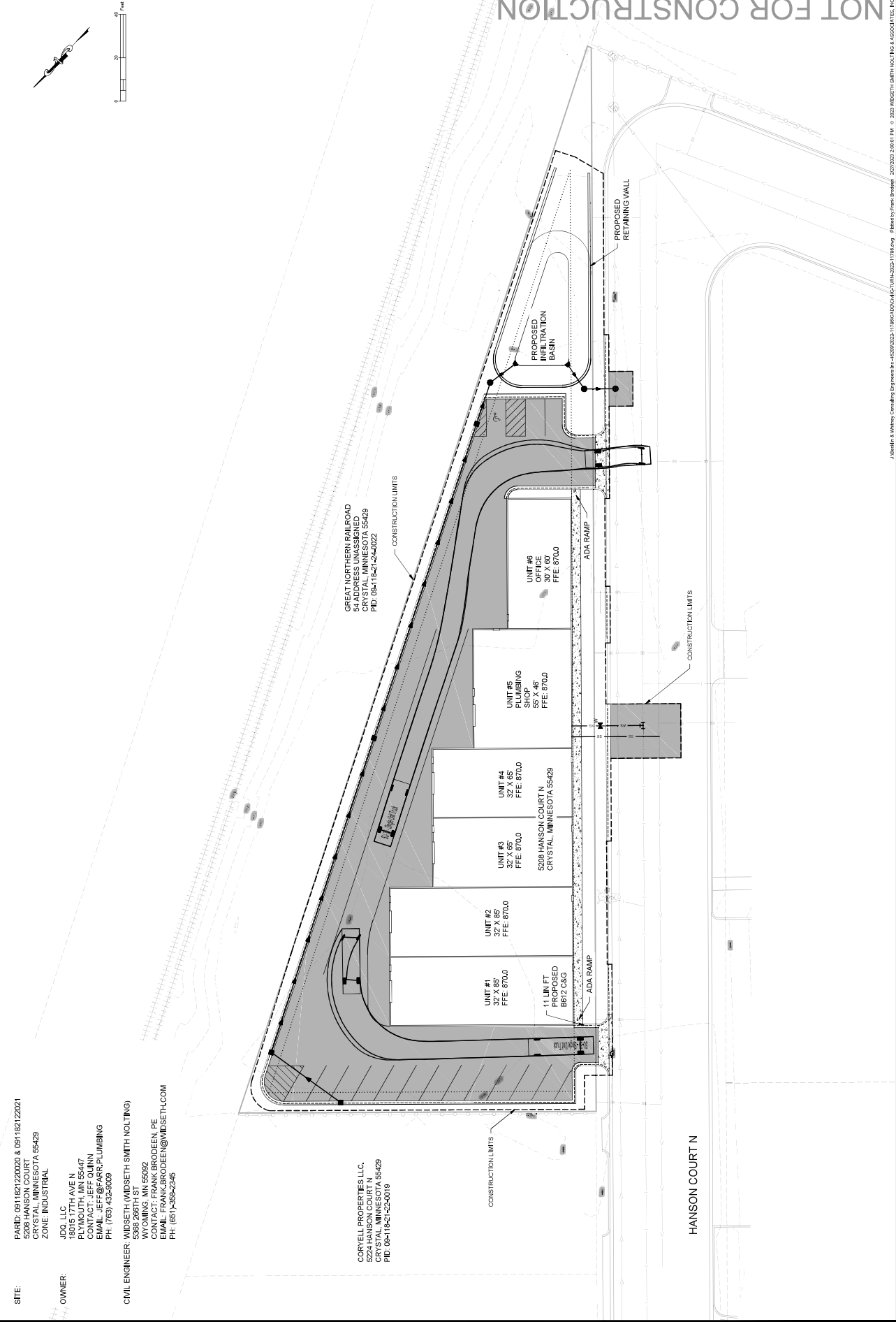


LANDSCAPE LEGEND
 Proposed 500

NO.	REVISION DESCRIPTION	DATE

DATE: FEBRUARY 2023
 DRAWN BY: FRANK E. BRODEEN
 CHECKED BY: JEFF QUINN
 PROJECT NO: 2022-17286

FIG.1
 TRUCK TURNING MOVEMENT LAYOUTS
 30 BOX TRUCK
 CRYSTAL, MN



SITE:
 PARID: 091182122020 & 091182122021
 5208 HANSON COURT
 CRYSTAL, MINNESOTA 55429
 ZONE: INDUSTRIAL

OWNER:
 JDO, LLC
 18015 17TH AVE N
 PLYMOUTH, MN 55447
 CONTACT: JEFF QUINN
 TEL: (763) 482-8000
 PH: (763) 482-8009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5389 286TH ST
 MN 55426
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-356-2346

CORYELL PROPERTIES LLC,
 5224 HANSON COURT N
 CRYSTAL, MN 55429
 PID: 09-11821-22-0019

NOT FOR CONSTRUCTION

DATE	REVISION	DESCRIPTION

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
40 BOX TRUCK
CRYSTAL, MN

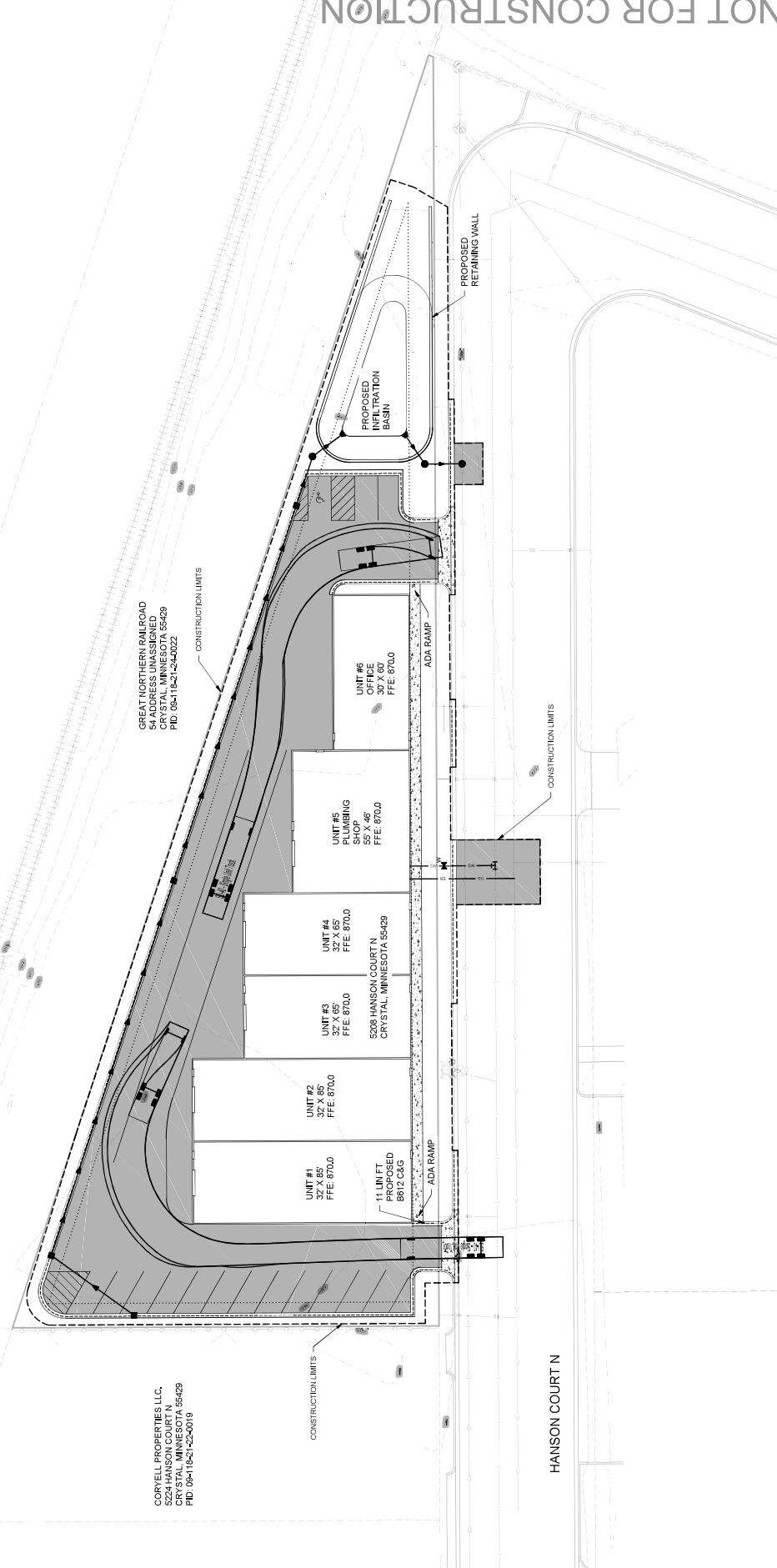
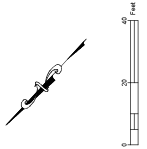
FIG. 2

SITE:
PARID: 091182122020 & 091182122021
5208 HANSON COURT
CRYSTAL, MINNESOTA 55429
ZONE: INDUSTRIAL

OWNER:
JDO, LLC
18015 17TH AVE N
PLYMOUTH, MN 55447
CONTACT: JEFF QUINN
JEFF@JDO.COM
PH: (763) 432-6009

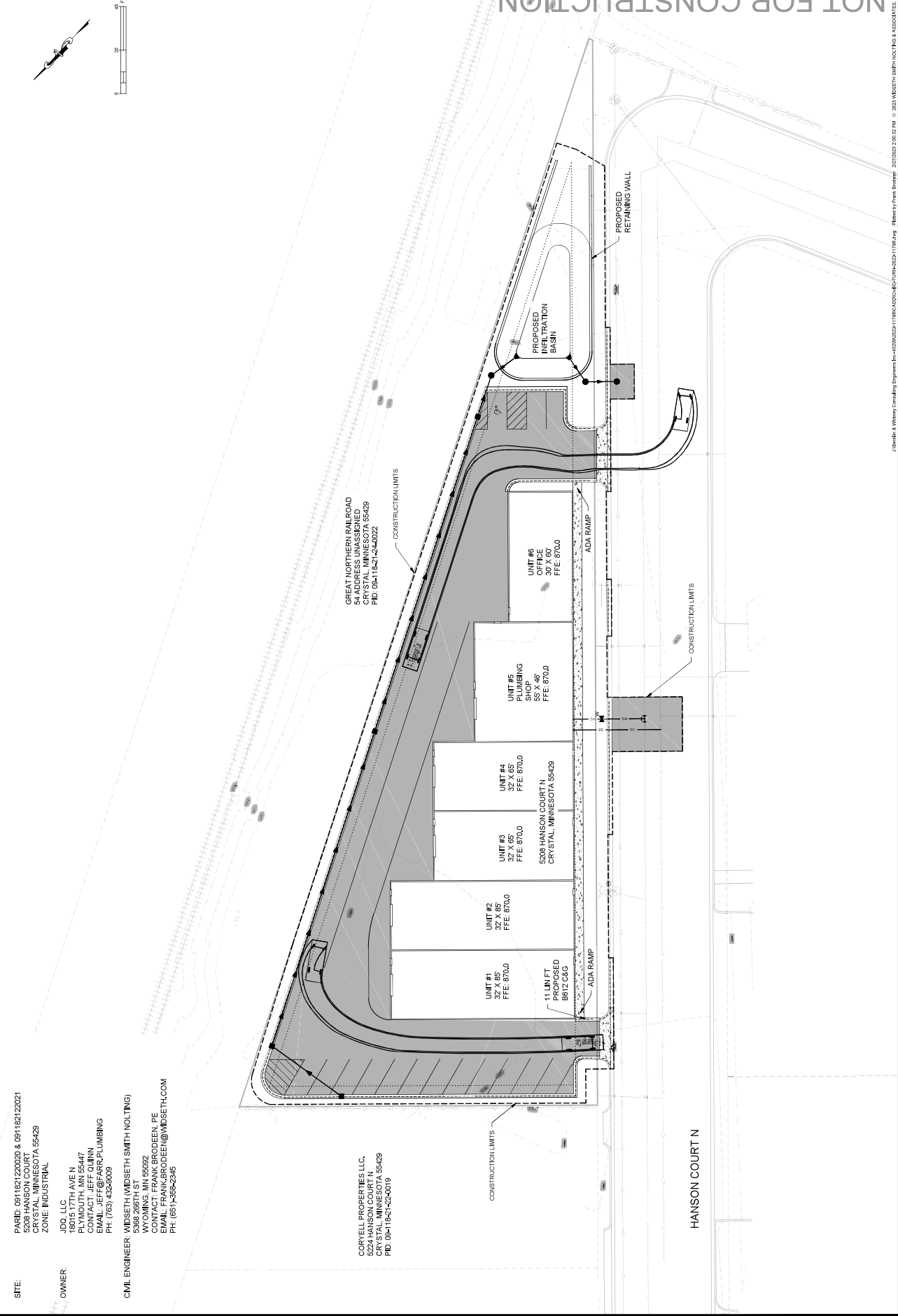
CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5389 286TH ST
MINNETONKA, MN 55345
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-356-2345

CORVELL PROPERTIES LLC,
5224 HANSON COURT N
CRYSTAL, MN 55429
PID: 09-11821-22-0019



NOT FOR CONSTRUCTION

NO.	REVISION DESCRIPTION



SITE:
PARID: 091182122020 & 091182122021
5208 HANSON COURT
CRYSTAL, MINNESOTA 55429
ZONE: INDUSTRIAL

OWNER:
JDO, LLC
18015 17TH AVE N
PLYMOUTH, MN 55447
CONTACT: JEFF QUINN
JEFF@JDOGROUP.COM
PH: (763) 432-9309

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5389 286TH ST
MINNETONKA, MN 55662
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-356-2346

CORYELL PROPERTIES LLC,
5224 HANSON COURT N
CRYSTAL, MN 55429
PID: 0911821220-0019

HANSON COURT N

NOT FOR CONSTRUCTION

PROJECT:
OFFICE WAREHOUSE

OWNER:
JEFF QUINN
ADDRESS:
5208 HANSON COURTCRYSTAL,
MN.

CONTRACTOR:
FARR PLUMBING & HEATING
CONTACT: JEFF QUINN
PHONE: 763-432-9009
E-MAIL: jeff@farr.plumbing

PLANS PROVIDED BY:

SCHMIERS HOME DESIGN
1628 COUNTY HIGHWAY 19 N.E.
SPRING LAKE PARK, MN 55432

TEL: (763) 785-2105
SchHomeDesign@aol.com

ENGINEERING PROVIDED BY:
BECKLIN & WHITNEY
CONSULTING ENGINEERS, INC.

139 1ST AVE E., SUITE 100
P.O. BOX 471
CAMBRIDGE, MN. 55008
TEL: (763) 689-5631
FAX: (763) 552-5631

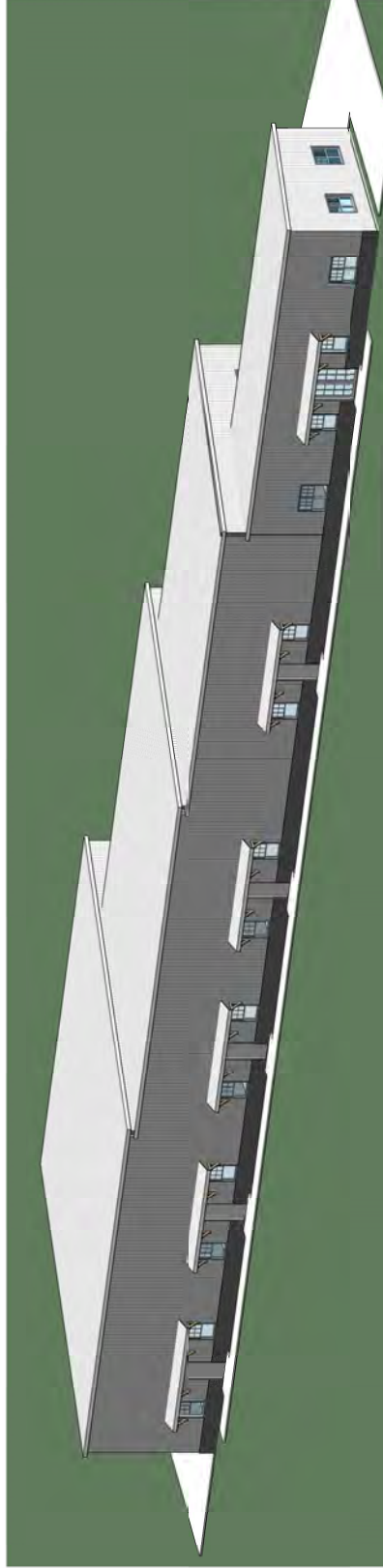
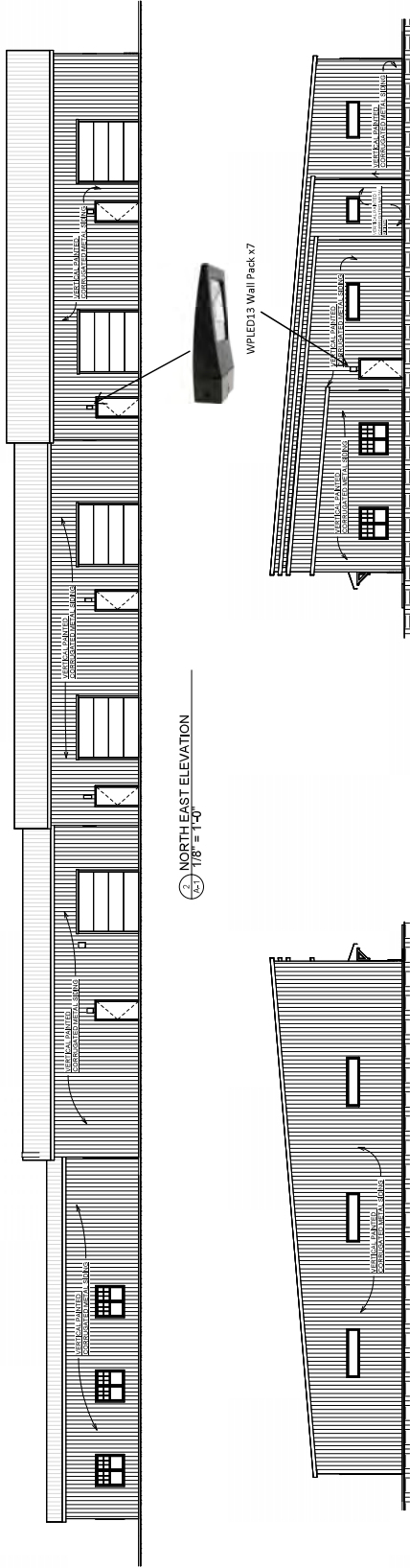
DATE: 08/02/2023 DRAWN: DECKS,
AJS/10/22/26 CHECKED: R.J.S.

EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

PAGE NO.

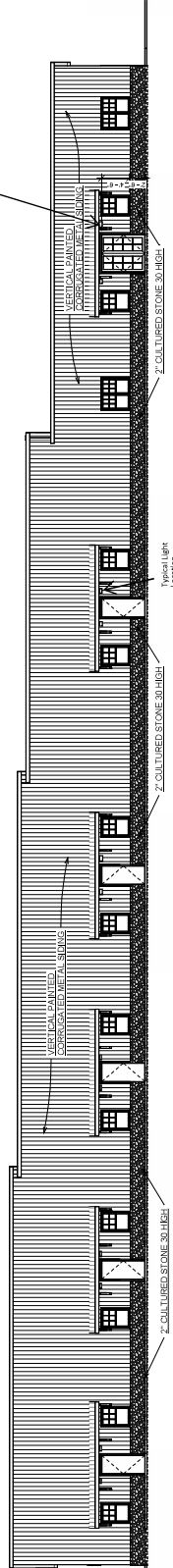
E-1



3-D PERSPECTIVE SOUTH VIEW

WAC LIGHTING
Lotos 4" & 6" Round
Adjustable Downlight 5CCT X12

Mounted in Soffit,
To Be Adjusted to Maximum
1 Foot Canals at Property Line



SOUTH WEST ELEVATION
1/8" = 1'-0"



LED 10W & 13 Wall packs. patent-pending thermal management system. 100,000 hour L70 lifespan. 5-year, no-compromise warranty.

Color: Bronze

Weight: 4.4 lbs

Project:

Farr Plumbing

Type:

Wall Pack

Prepared By:

William Becklin

Date:

3-2-23

Driver Info

Type	Constant Current
120V	0.11A
208V	0.07A
240V	0.06A
277V	0.05A
Input Watts	14.8W

LED Info

Watts	13W
Color Temp	5000K (Cool)
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	1,711 lm
Efficacy	115.6 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for Wet Locations as a Downlight. Suitable for Damp Locations as an Uplight. Wall Mount only. Suitable for Mounting within 4ft. of ground.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: P0000170E

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 70W Metal Halide

Construction

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 55°C (131°F)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Gaskets:

High-temperature Silicone

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 0.11A, 208V: 0.07A, 240V: 0.06A, 277V 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

6.34% at 120V, 14.24% at 277V

Power Factor:

99.2% at 120V, 91% at 277V

Technical Specifications (continued)

Electrical

Surge Protection:

4kV

LED Characteristics

Color Temperature:

5000K

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 100,000 hours of operation

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Patents:

The design of the LPACK is protected by U.S. Pat. D604,004 and patents pending in Canada, China and Taiwan.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

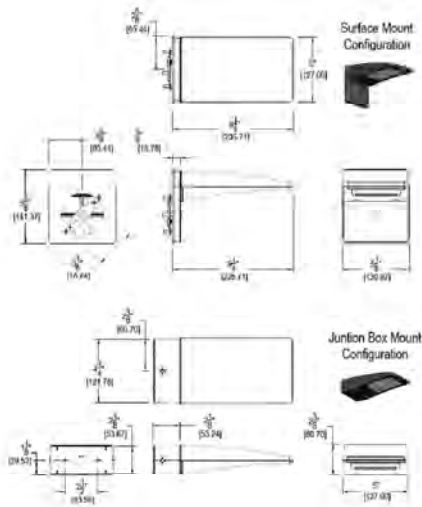
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U0 G0

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- 5-Year, No-Compromise Warranty

WAC LIGHTING

Lotos 4" & 6" Round

Adjustable Downlight 5CCT

Fixture Type:	Gimbal
Catalog Number:	R6ERAR-W9CS-WT
Project:	Farr Plumbing
Location:	Crystal

Model	Beam	Color Temp & CRI	Lumens	CBCP	Finish
<input type="radio"/> R4ERAR <input checked="" type="radio"/> R6ERAR	<input checked="" type="radio"/> W 45°	<input checked="" type="radio"/> 9CS 2700K/3000K/3500K/4000K/5000K - 90 <input type="radio"/> 9CS 2700K/3000K/3500K/4000K/5000K - 90	800 1340	1020 1896	<input checked="" type="radio"/> WT White
<input type="text" value="R6ERAR"/>	<input type="text" value="W"/>	<input type="text" value="9CS"/>			<input type="text" value="WT"/>

Example: **R4ERAR-W9CS-WT**

DESCRIPTION

The wafer-thin Lotos LED Recessed Kit with remote driver combines high quality light output and efficiency while eliminating the need for a large housing. This innovative design can be installed easily as a remodel or new construction with an optional frame-in kit sold separately. Lotos is available in a downlight version for general ambient lighting and an adjustable version with a gimbal that pivots 360 degrees on a hinge. Now available with 5-CCT options.

FEATURES

- 5-CCT Switchable between 2700K and 5000K
- Multiple LED array for uniform illumination
- Rotatable multi-axis gimbal ring
- Driver included
- 5 year warranty

SPECIFICATIONS

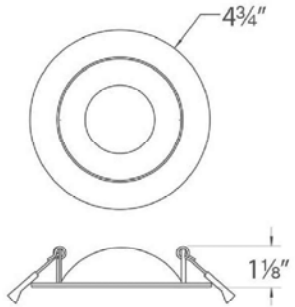
Construction:	Steel with frosted TIR lens
Power:	9W, 15W
Input:	120 -277 VAC, 50/60Hz
Dimming:	ELV: 100-5% , TRIAC: 100-5%
Light Source:	Integrated LED
Lens:	Translucent acrylic diffuser
Rated Life:	50000 Hours
Mounting:	Heavy gauge retention clips secures fixture to ceiling
Cut Out:	4 1/4", 5"
Finish:	Electrostatically powder coated: White
Ceiling Thickness:	1/2" - 1"
Operating Temp:	-4°F to 104°F (-20°C to 40°C)
Standards:	ETL, cETL, Wet Location Listed, Energy Star 2.0, Title 24 JA8-2019 Compliant, IC, Airtight



FINISHES:



LINE DRAWING:



R4ERAR

WAC LIGHTING

Lotos 4" & 6" Round Adjustable Downlight 5CCT

Fixture Type: _____

Catalog Number: _____

Project: _____

Location: _____

ACCESSORIES

Model

Description

Finish
